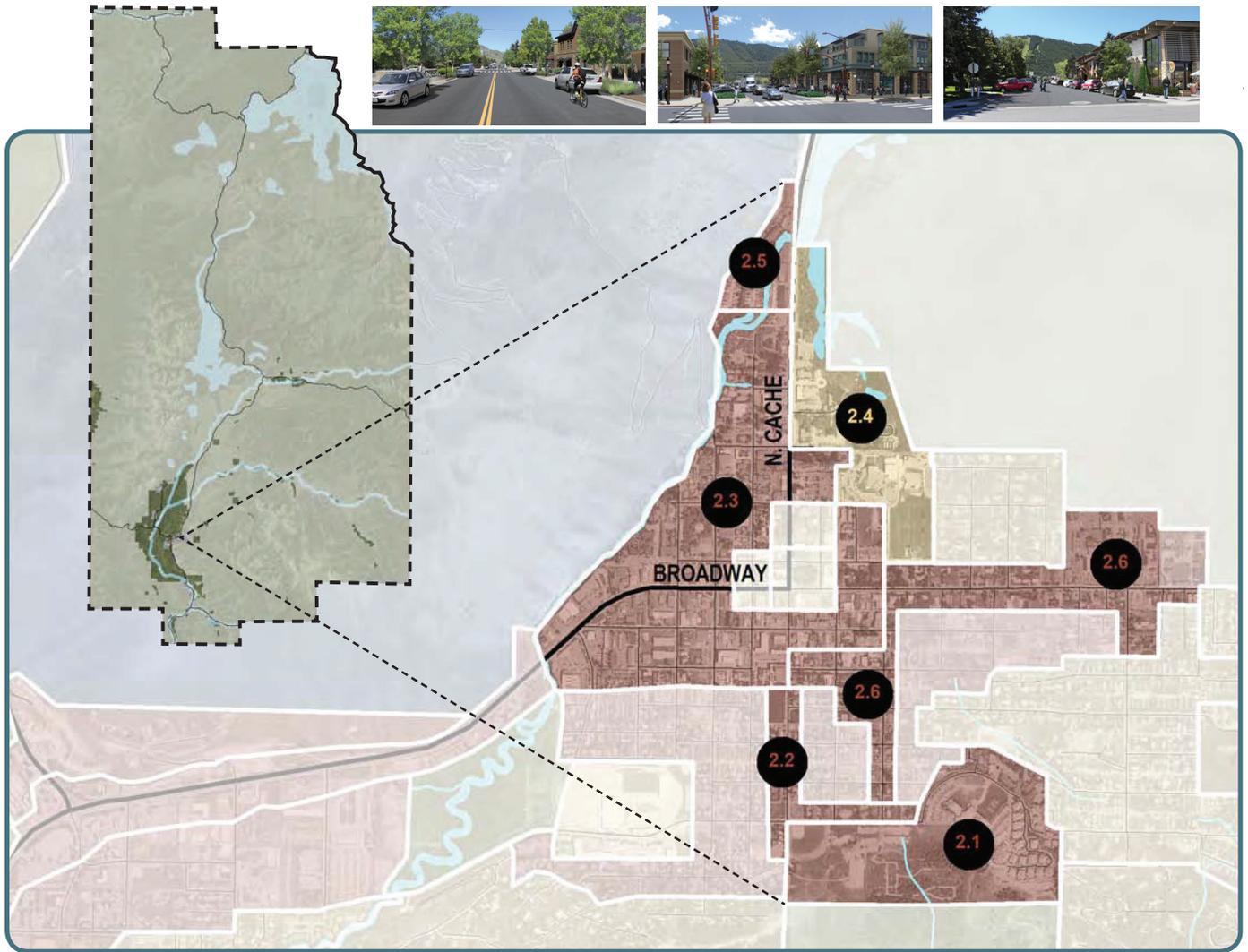


DISTRICT 2: COMMERCIAL CORE ZONING RECOMMENDATIONS



TOWN OF JACKSON
PUBLIC REVIEW DRAFT
REVISED

MARCH 04, 2016

Article 2. Complete Neighborhood Zones

- Div. 2.1. All Complete Neighborhood Zones 2
 - 2.1.1. Character Zones..... 2
 - 2.1.2. Legacy Zones 2
- Div. 2.2. Complete Neighborhood Character Zones..... 3
 - 2.2.1. Rules Applicable to All Complete Neighborhood Character Zones..... 3
 - 2.2.2. DC: Downtown Core 10
 - 2.2.3. CR-1: Commercial Residential-1 18
 - 2.2.4. CR-2: Commercial Residential-2 26
 - 2.2.5. OR: Office Residential 34
 - 2.2.6. RC: Residential Core 42
- Div. 1.9. Nonconformities..... 48
 - 1.9.2 Nonconforming Physical Development 48
- Div. 6.1. Allowed Uses 49
 - 6.1.6 Commercial Uses 49
- Div. 8.8 Relief from the LDRs..... 50
 - 8.8.1. Administrative Adjustment..... 50
- Div. 9.4. Rules of Measurement 51
 - 9.4.9 Height 51
 - 9.4.10 Primary and Side Street Designation..... 51
 - 9.4.11 Street Setback Range..... 51
 - 9.4.12 Building Facade Width 52
 - 9.4.13 Workforce Housing Incentives..... 53
 - 9.4.14 Building Stepback 55
 - 9.4.15 Story Height..... 56
 - 9.4.16 Transparency 56
 - 9.4.17 Blank Wall Area..... 57
 - 9.4.18 Pedestrian Access..... 57
- Div. 9.5. Defined Terms 58

Div. 2.1. All Complete Neighborhood Zones

Complete neighborhood zones are zones that are intended to enhance the locations in the community that are most appropriate for development and use as the most desirable places to live, work, and play. There are 2 types of complete neighborhood zones.

2.1.1. Character Zones

Character zones are character-based and established to implement the Comprehensive Plan. The character zones include:

- A. Downtown Core (~~DC~~)
- B. ~~Commercial Residential-1 (CR-1)~~
- C. ~~Commercial Residential-2 (CR-2)~~
- D. Office Residential (~~OR~~)
- E. Residential Core (~~RC~~)

2.1.2. Legacy Zones

Legacy zones are carried forward from the previous Land Development Regulations and it is the intent that many legacy zones will be phased out over time as character zones are adopted and applied. The legacy zones include:

- A. Town Square (TS)
- B. Urban Commercial (UC)
- C. ~~Urban Commercial-2 (UC-2)~~
- D. Urban Residential (UR)
- E. Auto Urban Commercial-Town (AC-ToJ)
- F. Auto Urban Residential-Town (AR-ToJ)
- G. ~~Office Professional-Town (OP-ToJ)~~
- H. ~~Office Professional-2 (OP-2)~~
- I. Business Park-Restricted Uses (BP-R)
- J. Business Park-Town (BP-ToJ)
- K. Business Conservation-Town (BC-ToJ)
- L. Residential Business (RB)
- M. Mobile Home Park-Town (MHP-ToJ)
- N. Neighborhood Conservation-Town (NC-ToJ)
- O. Neighborhood Conservation-Two-Family (NC-2)
- P. Suburban-Town (S-ToJ)

Div. 2.2. Complete Neighborhood Character Zones

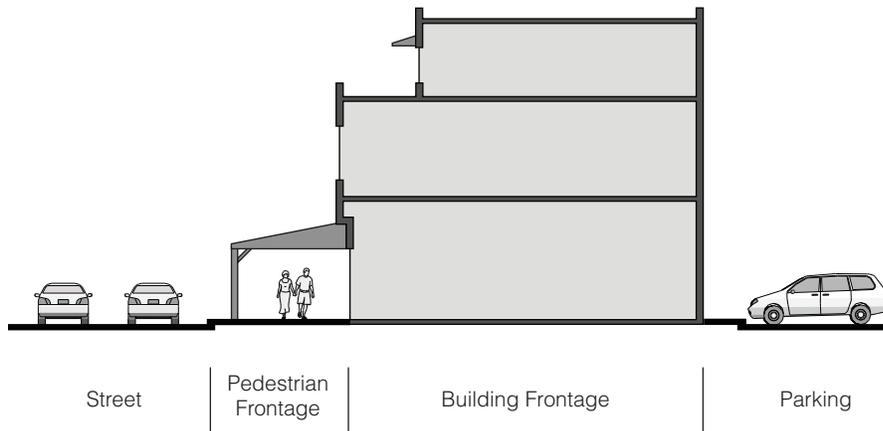
This division provides the development standards that apply to all Complete Neighborhood Character Zones. The standards are organized into three categories: 1) lot standards; 2) bulk standards; and 3) form standards. Each character zone contains specific standards related to these three categories.

2.2.1. Rules Applicable to All Complete Neighborhood Character Zones

A. Form Standards

The form rules for character zones are set out in the following categories (as illustrated below):

1. Streets;
2. Pedestrian Frontages;
3. Building Frontages; and
4. Parking.



B. Streets

[See the Town of Jackson 2015 Community Streets Plan for street cross-sections intended for locations throughout the Town.](#)

C. Pedestrian Frontages

Pedestrian frontages are the spaces that occur on public or private property between the curb and the building. Good pedestrian frontages are essential for fostering mixed-use, walkable, and pedestrian-oriented development. Specific rules for each pedestrian frontage are listed below. See Sec. 2.2.2 through Sec. 2.2.6 to determine which options are allowed in each zone. The rules of measurement for a pedestrian frontage are in Sec. 9.4.



Covered Walkway

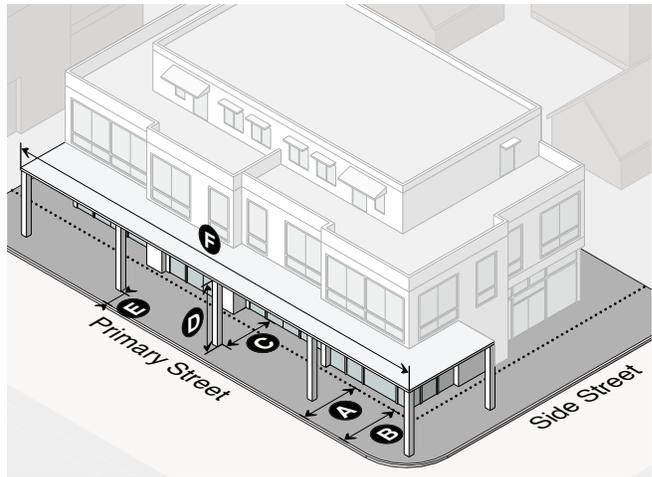


Trees in Grates



Trees in Lawn

1. Covered Walkway



Description

A covered walkway provides visual interest along the street edge, reduces the perceived mass of the building facade, and provides shelter from the rain, snow, and sun throughout the year. A covered walkway also reduces winter maintenance and improves pedestrian safety. A covered walkway is supported by posts or columns, or cantilevered from the building facade.

Pedestrian Frontage

Total width from back of curb	15'	A
Sidewalk width (min)	15'	B
Planting area/furnishing zone width (min)	n/a	

Covered Walkway

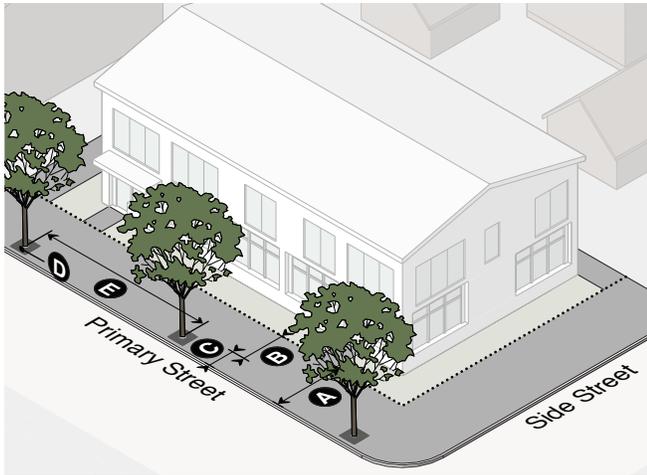
Covered sidewalk clear width (min)	10'	C
Clear height above sidewalk (min)	9'	D
Distance from overhang to curb line or edge of pavement (min/max)	18" / 5'	E
Gallery must be contiguous and extend for at least 75% of the primary building facade width		F

Planting Specifications

Planting type	n/a
Tree spacing	n/a

Where private property is used for a Pedestrian Frontage, an easement must be permanently dedicated to the Town. The applicant may change from a frontage with Trees in Grates to one with Trees in Lawn along the same street frontage, provided that both pedestrian frontage types are allowed in the applicable zoning district. Where the building facade does not lie at the back edge of the Pedestrian Frontage, and the gap may be used for additional sidewalk width, landscaping, or hardscaping, including street furniture and public art.

2. Trees in Grates



Description

Trees in grates provide a moderate amount of landscaping to screen buildings and provide shade, while remaining easy to maintain.

Pedestrian Frontage

Total width from back of curb	15'	A
Sidewalk clear width (min)	9'	B
Planting area/furnishing zone width (min)	6'	C

Planting Specifications

Planting type	Tree grate	D
Tree spacing (on center)	30' to 40'	E

3. Trees in Lawn



Description

Trees in lawn provide a continuous landscape buffer that separate pedestrians from traffic with planted trees that also screen buildings and provide shade.

Pedestrian Frontage

Total width from back of curb	15'	A
Sidewalk clear width (min)	6'	B
Planting area/furnishing zone width (min)	6'	C

Planting Specifications

Planting type	Tree lawn	D
Tree spacing (on center)	30' to 40'	E

D. Building Frontages

Building frontages set standards for building facades that face streets. Building frontages help to ensure that buildings address each street appropriately. They play an important role in shaping the built environment and enhancing the pedestrian experience. Specific rules for each building frontage are listed below. See Sec. 2.2.2 through Sec. 2.2.6 to determine which options are allowed in each zone. The rules of measurement for a building frontage are in Sec. 9.4.

1. Shopfront

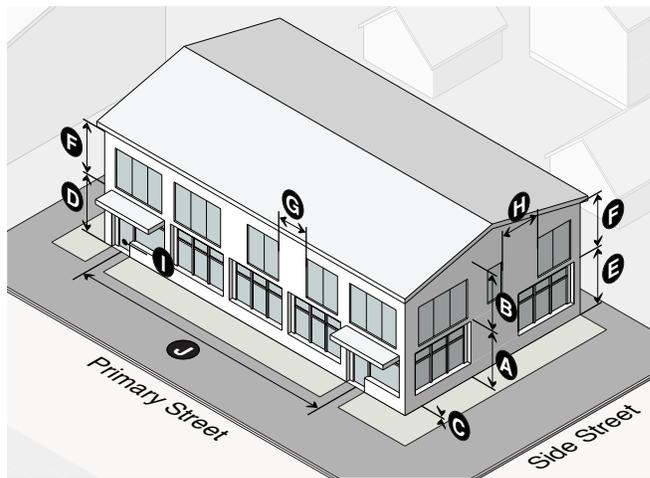


Description

In the Shopfront Frontage, the main facade of the building is located at or near the public sidewalk, often with at-grade entrances spaced at regular intervals. The Shopfront Frontage is intended primarily for retail uses, and has substantial glazing (windows and doors) at the sidewalk level.

Story Height		Sec. 9.4.15
Ground story height (min)	12'	A
Upper story height (min)	9'	B
Ground floor elevation (min/max)	0' to 2'	C
Transparency		Sec. 9.4.16
Ground story, primary street (min)	60%	D
Ground story, side street (min)	30%	E
Upper story, primary/side street (min)	20%	F
Blank Wall Area		Sec. 9.4.17
Blank wall area, primary street (max)	15'	G
Blank wall area, side street (max)	30'	H
Pedestrian Access		Sec. 9.4.18
Entrance facing primary street	Required	I
Entrance spacing along primary street (max)	50'	J

2. Office



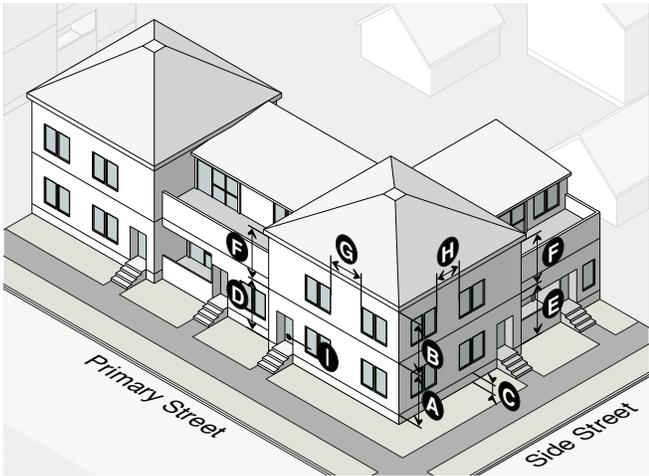
Description

In the Office Frontage, the main facade of the building is set back from the sidewalk with a street-facing entrance. The Office Frontage is intended primarily for employment, and secondary residential uses, and has moderate glazing (windows and doors) at the sidewalk level.

Story Height		Sec. 9.4.15
Ground story height (min)	10'	A
Upper story height (min)	9'	B
Ground floor elevation (min/max)	0' to 2'	C
Transparency		Sec. 9.4.16
Ground story, primary street (min)	40%	D
Ground story, side street (min)	20%	E
Upper story, primary/side street (min)	20%	F
Blank Wall Area		Sec. 9.4.17
Blank wall area, primary street (max)	25'	G
Blank wall area, side street (max)	40'	H
Pedestrian Access		Sec. 9.4.18
Entrance facing primary street	Required	I
Entrance spacing along primary street (max)	100'	J

Any use allowed in the applicable zoning district is allowed in any building frontage type, provided the use meets all other zoning and building code requirements. The applicant may use multiple building frontages along the same street frontage, provided that each frontage type is allowed in the applicable zoning district. Institutional and transportation/Infrastructure uses may be allowed to comply with the building frontages on an 'as practicable' basis with Planning Director approval.

3. Residential

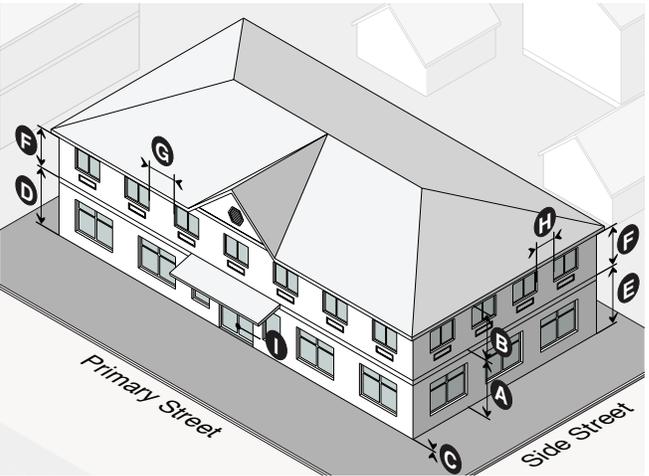


Description

In the Residential Frontage, the main facade of the building is set back from the sidewalk to protect privacy, with a street-facing entrance or series of entrances. The Residential Frontage is intended primarily for residential uses, and has limited glazing (windows and doors) at the sidewalk level.

Story Height	Sec. 9.4.15	
Ground story height (min)	9'	A
Upper story height (min)	9'	B
Ground floor elevation (min/max)	0' to 5'	C
Transparency	Sec. 9.4.16	
Ground story, primary street (min)	20%	D
Ground story, side street (min)	20%	E
Upper story, primary/side street (min)	20%	F
Blank Wall Area	Sec. 9.4.17	
Blank wall area, primary street (max)	35'	G
Blank wall area, side street (max)	50'	H
Pedestrian Access	Sec. 9.4.18	
Entrance facing primary street	Required for each ground floor unit	I
Entrance spacing along primary street (max)	n/a	

4. Lodging



Description

In the Lodging Frontage, the main facade of the building is either set back or pulled up to the sidewalk with a street-facing entrance or series of entrances. The Lodging Frontage is intended primarily for lodging uses, and has a variety of glazing (windows and doors) at the sidewalk level.

Story Height	Sec. 9.4.15	
Ground story height (min)	12'	A
Upper story height (min)	7' 6"	B
Ground floor elevation (min/max)	0' to 5'	C
Transparency	Sec. 9.4.16	
Ground story, primary street (min)	40%	D
Ground story, side street (min)	20%	E
Upper story, primary/side street (min)	20%	F
Blank Wall Area	Sec. 9.4.17	
Blank wall area, primary street (max)	35'	G
Blank wall area, side street (max)	50'	H
Pedestrian Access	Sec. 9.4.18	
Entrance facing primary street	Required	I
Entrance spacing along primary street (max)	n/a	

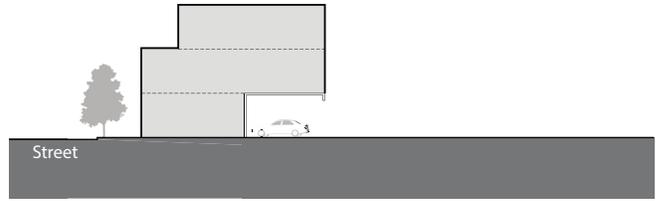
E. Parking Types

The location of parking is very important. Improper treatment can have a negative effect on walkability. A variety of parking type options are illustrated below. See Sec. 2.2.2 through Sec. 2.2.6 to determine options are allowed in each zone.



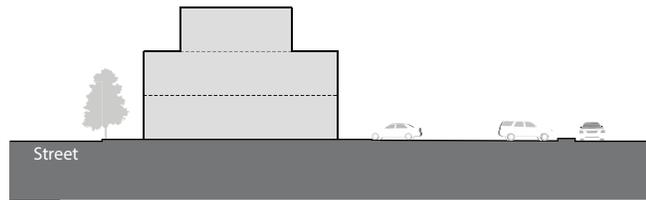
1. On-Street Parking

On-street parking provides off-site, at grade parking in the public right-of-way.



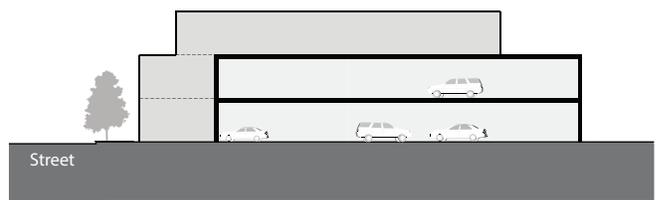
4. Tuck-Under Parking

Tuck-under parking provides at grade parking located beneath the upper-stories of a building. Tuck-under parking must be located to the rear of the building.



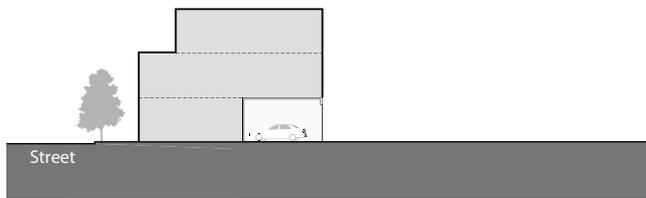
2. Surface Parking

Surface parking provides uncovered, at-grade parking. Surface parking must be located behind or to the side of buildings and must be screened from view from any street (except an alley).



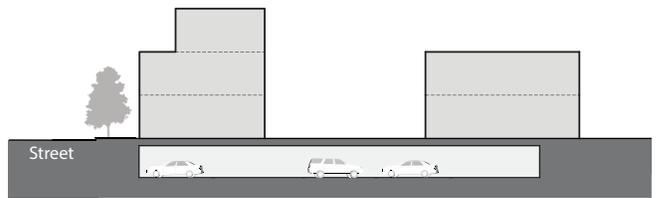
5. Structured Parking

Structured parking provides parking fully integrated within a building. Active street fronts must be provided to the extent practical.



3. Enclosed Parking

Enclosed parking provides at grade parking located beneath the upper-stories of a building. Parking must be fully enclosed and be screened by a building facade.



6. Underground Parking

Underground parking provides below grade parking.

2.2.2. DC: Downtown Core

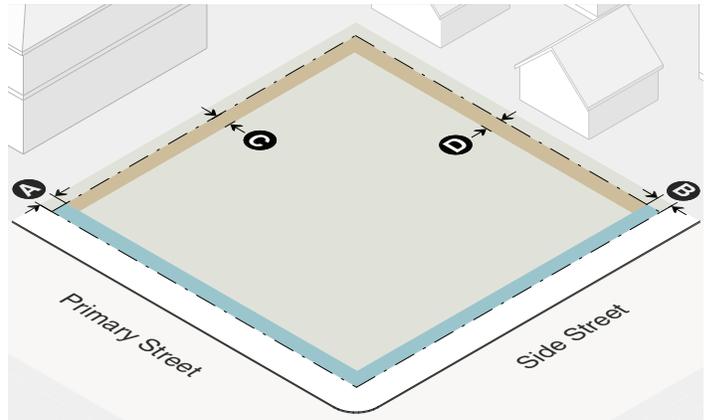
A. Intent

1. **General Intent.** The intent of the Downtown Core (DC) zone is to provide for a vibrant mixed-use area with a variety of uses and amenities, consisting of wide sidewalks and retail shopfronts pulled up to the street.
2. **Buildings.** Buildings can be up to 3 stories in height. Massing, articulation, openings, and step backs are used to reduce bulk and mass. Buildings are located close to the sidewalk, creating an attractive street edge. Large storefront windows invite and encourage pedestrian activity.
3. **Parking.** Parking is primarily provided off-site on public lots and on-street. Parking provided on-site is underground or screened from view by buildings.
4. **Land Use.** Active and engaging uses are encouraged on ground floors but not required, with offices, apartments, single-family attached, and lodging primarily located on upper stories.
5. **Comprehensive Plan.** Based primarily on sub area 2.3 of the Comprehensive Plan.

B. Physical Development

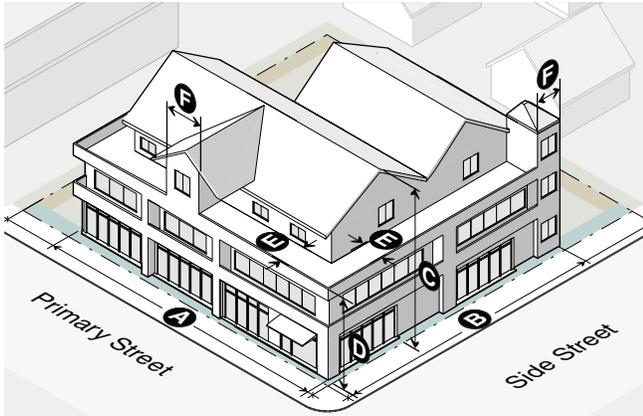
Standards applicable to physical development are provided in this Section. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



Building Setbacks		Sec. 9.4.11
Primary street setback range (min/max)	0' / 5'	A
Side street setback range (min/max)	0' / 5'	B
Side interior	0' or 5' min	C
Rear	0' or 5' min	D
Abutting protected zone (min)	10'	
Landscaping		Div. 5.5
Landscape surface ratio (min)	n/a	
Plant units (min)	n/a	
Fencing		
Height in primary/side street yard or side yard (max)	4'	
Height in rear yard (max)	6'	
Setback from primary or side street lot line/R.O.W./sidewalk (min)	1'	
Setback from side or rear yard lot line (min)	0'	
Parking Setbacks		
Primary street (min)	30'	
Side street, surface parking (min)	30'	
Side street, screened by bldg. (min)	2'	
Access		
Curb cut width (max)	20'	

2. Bulk Standards



Building Facade Width	Sec. 9.4.12	
Width of ground/2nd story in primary street setback range (min % of lot width)	80%	A
Width of ground/ 2nd story in side street setback range (min % of lot width)	80%	B
Building Height	Sec. 9.4.9	
Height: roof pitch ≥ 5/12 (max)	3 stories, not to exceed 46'	C
Height: roof pitch < 5/12 (max)	3 stories, not to exceed 42'	C
Height in primary or side street setback range (min)	2 stories	D
Building Stepback	Sec. 9.4.14	
Stepback required for 3rd story, primary or side street facade (min)	<u>10'</u>	E
Allowed building encroachment in 3rd story stepback (max % of building width)	<u>40%</u>	F
Scale of Development	Sec. 9.4.13	
<u>Floor area ratio (FAR max)</u>	<u>1.3</u>	
<u>Workforce housing exemption</u>	<u>TBD</u>	

3. Form Standards



Nonresidential Design Guidelines	Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.	
Pedestrian Frontage Options	
Covered walkway	see Sec. 2.2.1.C.1
Trees in grates	see Sec. 2.2.1.C.2
Building Frontage Options	
Shopfront	see Sec. 2.2.1.D.1
Residential	see Sec. 2.2.1.D.3
Lodging	see Sec. 2.2.1.D.4
Parking Type Options	
On-street parking	see Sec. 2.2.1.E.1
Surface parking	see Sec. 2.2.1.E.2
Enclosed parking	see Sec. 2.2.1.E.3
Structured parking	see Sec. 2.2.1.E.5
Underground parking	see Sec. 2.2.1.E.6
Remote parking	see Sec. 2.2.1.E.7

4. Environmental Standards	
Natural Resource Setback	Sec 5.1.1
Flat Creek North of Hansen Ave (min)	25'
Flat Creek South of Hansen Ave (min)	50'
Wetland (min)	30'
Irrigation Ditch Setback	Sec. 7.7.4.D
Irrigation Ditch (min)	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	Sec. 5.3.1
Total cuff off angle (max)	90°
Illumination in footcandles	<u>1.50</u>
Residential use	1.00
Nonresidential use	1.50
Height (max)	<u>18'</u>
Residential use	15'
Nonresidential use	18'
Scenic Resource Overlay Standards (SRO)	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	Sec. 5.4.1
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	Sec. 5.4.2
Fault Area	Sec. 5.4.3
Floodplains	Sec. 5.4.4
Wildland Urban Interface	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6
Number of signs (max)	3 per business per frontage	
Background color	No white or yellow	
Sign Area		
Total sign area (max)	3 sf per linear ft of building frontage up to 150 sf	
Penalty	10% per projecting and freestanding sign	
Sign Type Standards		
Canopy sign		
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Freestanding sign		
Height (max)	6'	
Setback (min)	5'	
Projecting sign		
Height (max)	24' above grade	
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Window sign		
Window surface coverage (max)	25% up to 16 sf	
Temporary signs	Sec. 5.6.1	
8. Grading, Erosion Control, Stormwater		
Grading	Sec. 5.7.2	
Erosion Control	Sec. 5.7.3	
Erosion shall be controlled at all times		
Stormwater Management	Sec. 5.7.4	
No increase in peak flow rate or velocity across property lines		

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 9,750 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
9,750 - 29,250 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 29,250 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses					2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing Floor Area (min) (Div 6.3)	
Residential Uses						
Attached Single-Family Unit (6.1.4.B)	B	n/a	n/a	1/DU	n/a	
Apartment (6.1.4.D)	B	n/a	n/a	1/DU	n/a	
Dormitory (6.1.4.F)	C	n/a	n/a	1/bed	n/a	
Group Home (6.1.4.G)	C	n/a	n/a	0.5/bed	n/a	
Live-Work Unit (6.1.4.H)	B	n/a	n/a	1.5/DU or 1.5/1,000 sf	n/a	
Lodging						
Conventional Lodging (6.1.5.B)	B (LO)	n/a	n/a	0.75/room	47 sf/1,000 sf	
Short-term Rental Unit (6.1.5.C)	B (LO)	n/a	n/a	1/room	47 sf/1,000 sf	
Commercial Uses						
Office (6.1.6.B)	B	12,500 sf	n/a	3.3/1,000 sf	14 sf/1,000 sf	
Retail (6.1.6.C)	B	12,500 sf	n/a	4.5/1,000 sf	156 sf/1,000 sf	
Service (6.1.6.D)	B	12,500 sf	n/a	3/1,000 sf	56 sf/1,000 sf	
Restaurant/Bar (6.1.6.E)	B	12,500 sf	n/a	1/55 sf dining area + 1 per 30 sf bar area	378 sf/1,000 sf	
Amusement/Recreation						
Amusement (6.1.7.B)	C	n/a	n/a	1/30 sf seating area or independent calculation	independent calculation	
Developed Recreation (6.1.7.D)	B	n/a	n/a	4.5/1,000 sf	independent calculation	
Outfitter/Tour Operator (6.1.7.E)	C	n/a	n/a	independent calculation	independent calculation	

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2)
(LO) = Lodging Overlay Only

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing Floor Area (min) (Div 6.3)
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C, 6.1.8.C)	B	n/a	n/a	independent calculation	exempt
Transportation/Infrastructure					
Utility Facility (6.1.10.C)	C	n/a	n/a	1/employee + 1 per stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)				1/employee + 1 per stored vehicle	independent calculation
<u>Minor</u>	<u>B</u>	<u>n/a</u>	<u>n/a</u>		
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1-25/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	n/a
Family Home Daycare (6.1.11.F)	B	n/a	n/a	1/employee + 2 off-street pick-up/drop-off	exempt
Temporary Uses					
Christmas Tree Sales (6.1.12.B)	Y	n/a	n/a	1/1,000 sf outdoor display area + 1 per employee	exempt
Temporary Shelter (6.1.12.D)	Y	n/a	n/a	2/DU	exempt
Farm Stand (6.1.12.E)	B	n/a	n/a	5/1,000 sf display area	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options								
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot Coverage (max)	Option Standards
Allowed Subdivision Options								
Land Division	n/a	5,000 sf	n/a	n/a	determined by physical development			Sec. 7.2.3
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4
2. Residential Subdivision Requirements								
Affordable Housing								Div. 7.4
Required Affordable Housing					1 affordable unit per 4 market units			
Schools and Parks Exaction								Div. 7.5
Schools exaction					.020 acres per 1- or 2-family unit .015 acres per multi-family unit			
Parks exaction					9 acres per 1,000 resident			
3. Infrastructure								
Transportation Facilities								Div. 7.6
Access								required
Right-of-way for Minor Local Road (min)								60'
Paved travel way for Minor Local Road (min)								20'
Required Utilities								Div. 7.7
Water								public
Sewer								public
4. Required Subdivision and Development Option Permits								
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)			
Land Division								
≤ 10 Lots				X				X
> 10 Lots		X		X				X
Condominium/Townhouse								X

E. Additional Zone-Specific Standards

1. Parking Requirement

- a. **Shared Parking Reduction.** A 50% parking reduction is allowed from the ratio specified in Sec. 2.2.2.C.2 for all allowed nonresidential land uses (not including lodging).
- b. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits in the development and redevelopment of their property. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable. The credits include previous fee-in-lieu payments for parking, if any. Parking credits shall not be used for lodging or residential uses, except that previously paid fee-in-lieu credits may be applied to such uses.
- c. **On-street Parking Credit.** Credit for on-street parking spaces shall be permitted. The amount of off-street parking required shall be reduced by one off-street parking space for every on-street space in front of the development (i.e., on one side of the street). On-street parking shall follow the established configuration of existing on-street parking, except that angled parking may be allowed for some streets, where permitted by Town and WYDOT standards. The following constitutes an on-street parking space:
 - i. Parallel parking. One space for every 22 feet of uninterrupted curb.
 - ii. 45/60 degree diagonal. One space for every 18 feet of curb.
 - iii. 90-degree (perpendicular) parking. One space for every 9 feet of curb.
 - iv. Curb space shall be contiguous to the lot, which contains the use.
 - v. On-street parking spaces credited for a specific use shall not be used exclusively by that use, but shall be available for general public use at all times. No signs or actions limiting general public use or time of on-street spaces shall be permitted.
 - vi. There shall be no credit given for on-street parking for those properties adjacent to a red curb or other no parking areas put in place by the Town and/or Wyoming Department of Transportation.
- d. **Fee-In-Lieu.** Applicants may fulfill the relevant proportion of their parking requirement off-site through the Town's in-lieu fee program pursuant to the following standards.
 - i. **Fee.** The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with parking and fee schedules set forth by Resolution and in accordance with the standards of this section.

- ii. **Assignment of Credits.** All parking credits run with the land and are not transferable. All credits are calculated and applied in the aggregate, and are not applied on a use-by-use basis.
 - iii. **Banking of Fee-in-Lieu Spaces.** Applicants will be allowed to pay for fee-in-lieu spaces in advance and “bank” the use of said spaces for future redevelopment within the district.
2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.

~~LSR Surfaces. The Planning Director may substitute ground-floor hardscape or amenity space improvements to satisfy the LSR requirement if the development can incorporate one or more of the following design elements including, but not limited to:-~~

- a. ~~Pervious or decorative pavers;-~~
 - b. ~~Sidewalks;-~~
 - c. ~~Boardwalks;-~~
 - d. ~~Public art display areas;-~~
 - e. ~~Publicly accessible amenity space;- or~~
 - f. ~~Pedestrian cut-throughs;-~~
3. Nonconforming Detached Single-Family Units. Existing detached single-family units are considered nonconforming but shall not be subject to the 20% floor area expansion limit and will be permitted to develop to the full FAR allowed in the zone. Existing detached single-family units are subject to all other applicable development standards of this Article.

2.2.3. CR-1: Commercial Residential-1

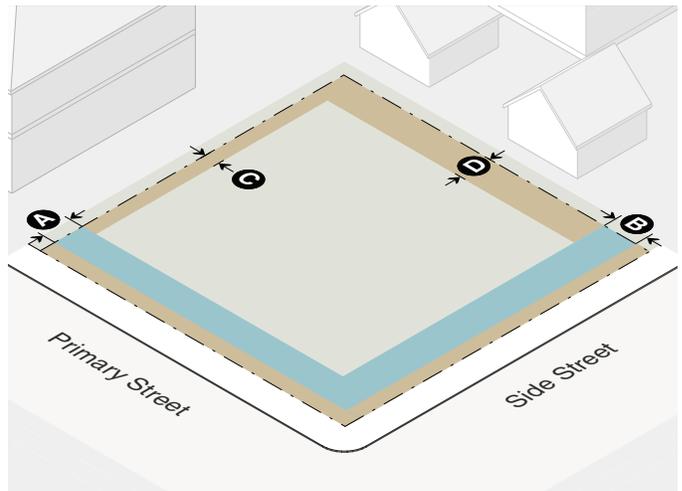
A. Intent

- General Intent.** The intent of the Commercial Residential-1 (CR-1) zone is to provide for mixed-use development consisting primarily of offices, retail and residential development. Lodging uses are allowed within the Lodging Overlay. This zone will often be located on secondary corridors and may serve as a transition zone between higher intensity commercial areas and residential neighborhoods.
- Buildings.** Buildings can be up to 3 stories in height. Buildings are pulled up to the street, awnings, galleries, porches, stoops, and windows and doors work in concert to provide an attractive pedestrian environment that complements and serves the surrounding neighborhood.
- Parking.** Parking is primarily provided on-site, to the rear or side of buildings and screened from view.
- Land Use.** Ground-level uses add vitality and street life at a scale consistent with neighboring residential structures and uses. Upper floors primarily accommodate residential, office and lodging uses, but these uses are allowed on the ground floor as well.
- Comprehensive Plan.** Based primarily on sub area 2.2 of the Comprehensive Plan.

B. Physical Development

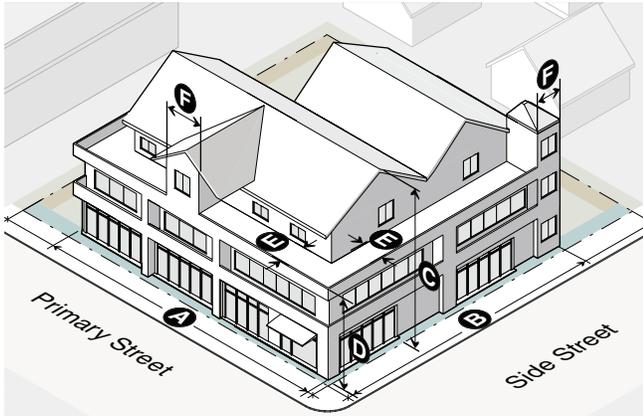
Standards applicable to physical development are provided on the following pages. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



Building Setbacks		Sec. 9.4.11
Primary street setback range (min/max)	5' / 10'	A
Side street setback range (min/max)	5' / 10'	B
Side interior (min)	0'	C
Rear (min)	10'	D
Abutting protected zone (min)	10'	
Landscaping		Div. 5.5
Landscape surface ratio (min)	10%	
Plant Units		
All uses	1/1,000 sf of landscape area	
Parking lot (all uses)	1/12 parking spaces	
Fencing		
Height in primary/side street yard or side yard (max)	4'	
Height in rear yard (max)	6'	
Setback from primary or side street lot line/R.O.W./sidewalk (min)	1'	
Setback from side or rear yard lot line (min)	0'	
Parking Setbacks		
Primary street (min)	30'	
Side street, surface parking (min)	10'	
Side street, screened by bldg. (min)	2'	
Access		
Curb cut width (max)	20'	

2. Bulk Standards



Building Facade Width	Sec. 9.4.12	
Width of ground/2nd story in primary street setback range (min % of lot width)	80%	A
Width of ground/ 2nd story in side street setback range (min % of lot width)	40%	B
Building Height	Sec. 9.4.9	
<u>Height: roof pitch ≥ 5/12 (max)</u>	<u>3 stories, not to exceed 46'</u>	C
<u>Height: roof pitch < 5/12 (max)</u>	<u>3 stories, not to exceed 42'</u>	C
Height in primary or side street setback range (min)	<u>2 stories</u>	D
Building Stepback	Sec. 9.4.14	
Stepback required for 3rd story, primary or side street facade (min)	<u>10'</u>	E
Allowed building encroachment in 3rd story stepback (max % of building width)	<u>40%</u>	F
Scale of Development	Sec. 9.4.13	
<u>Floor area ratio (FAR max)</u>		
<u>Lodging uses</u>	<u>0.80</u>	
<u>All other uses</u>	<u>0.65</u>	
<u>Workforce housing exemption</u>	<u>TBD</u>	

3. Form Standards



Nonresidential Design Guidelines	Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.	
Pedestrian Frontage Options	
Trees in grates	see Sec. 2.2.1.C.2
Trees in lawn	see Sec. 2.2.1.C.3
Building Frontage Options	
Shopfront	See Sec. 2.2.1.D.1
Office	see Sec. 2.2.1.D.2
Residential	see Sec. 2.2.1.D.3
Lodging	see Sec. 2.2.1.D.4
Parking Type Options	
On-street parking	see Sec. 2.2.1.E.1
Surface parking	see Sec. 2.2.1.E.2
Enclosed parking	see Sec. 2.2.1.E.3
Tuck-Under Parking	see Sec. 2.2.1.E.4
Structured parking	see Sec. 2.2.1.E.5
Underground parking	see Sec. 2.2.1.E.6
Remote parking	see Sec. 2.2.1.E.7

4. Environmental Standards	
Natural Resource Setback	Sec 5.1.1
Flat Creek North of Hansen Ave (min)	25'
Flat Creek South of Hansen Ave (min)	50'
Wetland (min)	30'
Irrigation Ditch Setback	Sec. 7.7.4.D
Irrigation Ditch (min)	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	Sec. 5.3.1
Total cuff off angle (max)	90°
Illumination in footcandles	<u>1.50</u>
Residential use	1.00
Nonresidential use	1.50
Height (max)	<u>18'</u>
Residential use	15'
Nonresidential use	18'
Scenic Resource Overlay Standards (SRO)	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	Sec. 5.4.1
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	Sec. 5.4.2
Fault Area	Sec. 5.4.3
Floodplains	Sec. 5.4.4
Wildland Urban Interface	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6
Number of signs (max)	3 per business per frontage	
Background color	No white or yellow	
Sign Area		
Total sign area (max)	3 sf per linear ft of building frontage up to 150 sf	
Penalty	10% per projecting and freestanding sign	
Sign Type Standards		
Canopy sign		
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Freestanding sign		
Height (max)	6'	
Setback (min)	5'	
Projecting sign		
Height (max)	24' above grade	
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Window sign		
Window surface coverage (max)	25% up to 16 sf	
Temporary signs	Sec. 5.6.1	
8. Grading, Erosion Control, Stormwater		
Grading	Sec. 5.7.2	
Erosion Control	Sec. 5.7.3	
Erosion shall be controlled at all times		
Stormwater Management		
Sec. 5.7.4		
No increase in peak flow rate or velocity across property lines		

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 5,000 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
5,000 - 15,000 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 15,000 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing Floor Area (min) (Div 6.3)
Residential Uses					
Attached Single-Family Unit (6.1.4.B)	B	n/a	n/a	1/DU	n/a
Apartment (6.1.4.D)	B	n/a	n/a	1/DU	n/a
<u>Dormitory (6.1.4.F)</u>	<u>C</u>	<u>n/a</u>	<u>n/a</u>	<u>1/bed</u>	<u>n/a</u>
Group Home (6.1.4.G)	<u>B</u>	n/a	n/a	0.5/bed	n/a
Live-Work Unit (6.1.4.H)	B	n/a	n/a	1.5 /DU or 1.5/1,000 sf	n/a
Lodging					
Conventional Lodging (6.1.5.B)	B (LO)	n/a	n/a	0.75/room	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C)	B (LO)	n/a	n/a	1/room	47 sf/1,000 sf
Commercial Uses					
Office (6.1.6.B)	B	<u>6,000 sf</u>	n/a	3.3/1,000 sf	14 sf/1,000 sf
Retail (6.1.6.C)	B	<u>6,000 sf</u>	n/a	4.5/1,000 sf	156 sf/1,000 sf
Service (6.1.6.D)	B	<u>6,000 sf</u>	n/a	3/1,000 sf	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E)	B	<u>6,000 sf</u>	n/a	1/55 sf dining area + 1 per 30 sf bar area	378 sf/1,000 sf

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2)
(LO) = Lodging Overlay Only

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing Floor Area (min) (Div 6.3)
Amusement/Recreation					
Amusement (6.1.7.B)	B	n/a	n/a	1/30 sf seating area or independent calculation	independent calculation
Developed Recreation (6.1.7.D)	B	n/a	n/a	4.5/1,000 sf	independent calculation
Outfitter/Tour Operator (6.1.7.E)	B	n/a	n/a	independent calculation	independent calculation
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C)	B	n/a	n/a	independent calculation	exempt
Transportation/Infrastructure					
Utility Facility (6.1.10.C)	C	n/a	n/a	1/employee + 1 per stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)					
Minor	B	n/a	n/a	1/employee + 1 per stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	exempt
Temporary Uses					
Christmas Tree Sales (6.1.12.B)	Y	n/a	n/a	1/1,000 sf outdoor display area + 1 per employee	exempt
Farm Stand (6.1.12. E)	B	n/a	n/a	5/1,000 sf display area	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options									
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot Coverage (max)	Option Standards	
Allowed Subdivision Options									
Land Division	n/a	7,500 sf	n/a	n/a	determined by physical development			Sec. 7.2.3	
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4	
2. Residential Subdivision Requirements									
Affordable Housing								Div. 7.4	
Required Affordable Housing					1 affordable unit per 4 market units				
Schools and Parks Exaction								Div. 7.5	
Schools exaction					.020 acres per 1- or 2-family unit .015 acres per multi-family unit				
Parks exaction					9 acres per 1,000 resident				
3. Infrastructure									
Transportation Facilities								Div. 7.6	
Access								required	
Right-of-way for Minor Local Road (min)								60'	
Paved travel way for Minor Local Road (min)								20'	
Required Utilities								Div. 7.7	
Water								public	
Sewer								public	
4. Required Subdivision and Development Option Permits									
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)		Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)			
Land Division									
≤ 10 Lots			X			X			
> 10 Lots		X	X			X			
Condominium/Townhouse								X	

E. Additional Zone-Specific Standards

1. Parking Requirement

- a. **Shared Parking Reduction.** A 25% parking reduction is allowed from the ratio specified in Sec. 2.2.3.C.2 for all allowed nonresidential land uses (not including lodging).
- b. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits in the development and redevelopment of their property. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable. The credits include previous fee-in-lieu payments for parking, if any.
- c. **On-street Parking Credit.** Credit for on-street parking spaces shall be permitted. The amount of off-street parking required shall be reduced by one off-street parking space for every on-street space in front of the development (i.e., on one side of the street). On-street parking shall follow the established configuration of existing on-street parking, except that angled parking may be allowed for some streets, where permitted by Town and WYDOT standards. The following constitutes an on-street parking space:
 - i. Parallel parking. One space for every 22 feet of uninterrupted curb.
 - ii. 45/60 degree diagonal. One space for every 18 feet of curb.
 - iii. 90-degree (perpendicular) parking. One space for every 9 feet of curb.
 - iv. Curb space shall be contiguous to the lot, which contains the use.
 - v. On-street parking spaces credited for a specific use shall not be used exclusively by that use, but shall be available for general public use at all times. No signs or actions limiting general public use or time of on-street spaces shall be permitted.
 - vi. There shall be no credit given for on-street parking for those properties adjacent to a red curb or other no parking areas put in place by the Town and/or Wyoming Department of Transportation.
- d. **Fee-In-Lieu.** Applicants may fulfill the relevant proportion of their parking requirement off-site through the Town's in-lieu fee program pursuant to the following standards.
 - i. **Fee.** The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with parking and fee schedules set forth by Resolution and in accordance with the standards of this section.
 - ii. **Assignment of Credits.** All parking credits run with the land and are not transferable. All credits are calculated and applied in the aggregate, and are not applied on a use-by-use basis.

- iii. Banking of Fee-in-Lieu Spaces. Applicants will be allowed to pay for fee-in-lieu spaces in advance and “bank” the use of said spaces for future redevelopment within the district.
2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
3. **LSR Surfaces.** The Planning Director may substitute ground-floor hardscape or amenity space improvements to satisfy the LSR requirement if the development can incorporate one or more of the following design elements including, but not limited to:
 - a. Pervious or decorative pavers;
 - b. Sidewalks;
 - c. Boardwalks;
 - d. Public art display areas,
 - e. Publicly accessible amenity space; or
 - f. Pedestrian cut-throughs.
4. Nonconforming Detached Single-Family Units. Existing detached single-family units are considered nonconforming but shall not be subject to the 20% floor area expansion limit and will be permitted to develop to the full FAR allowed in the zone. Existing detached single-family units are subject to all other applicable development standards of this Article.

2.2.4. CR-2: Commercial Residential-2

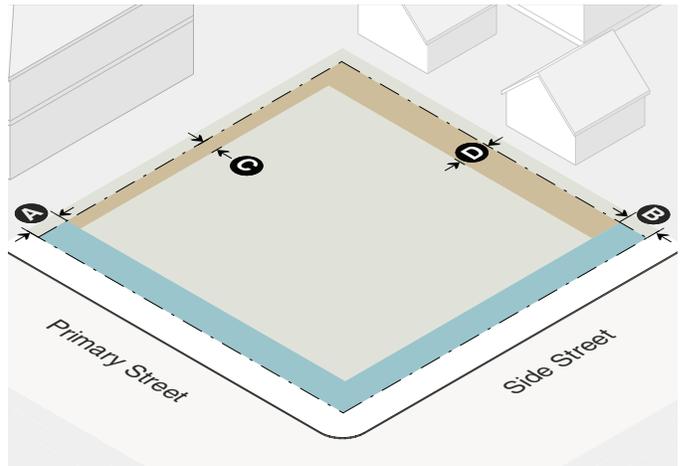
A. Intent

1. **General Intent.** The intent of the Commercial Residential-2 (CR-2) zone is to provide for a vibrant mixed-use zone consisting primarily of retail, office, lodging and residential uses. This zone will often be located on the periphery of the core of Downtown and helps to serve as a transition to lower density residential areas.
2. **Buildings.** Buildings can be up to 3 stories in height. Massing, articulation, openings, and step backs are used to reduce bulk and mass. Front setbacks are varied, with some buildings pulled up to the street and others set back with landscaping in front, creating an attractive and green street edge.
3. **Parking.** Parking is primarily provided on-site, to the rear or side of buildings and screened from view.
4. **Land Use.** Active uses, such as retail and service, are encouraged on the ground level, often with lodging, residential, or office on the upper floors. Buildings of all residential uses are encouraged.
5. **Comprehensive Plan.** Based primarily on sub areas 2.3 and 2.5 of the Comprehensive Plan.

B. Physical Development

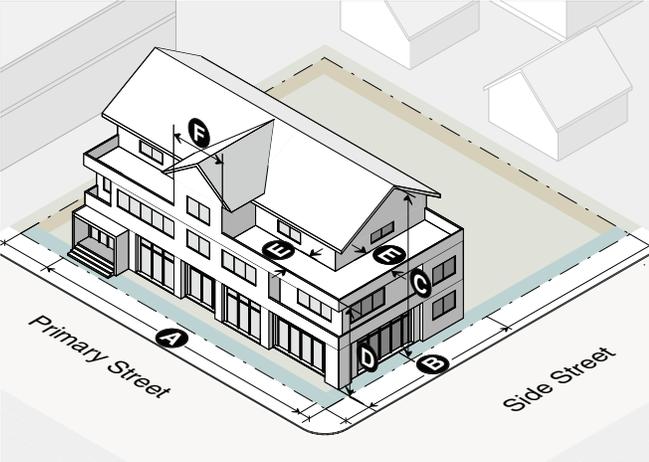
Standards applicable to physical development are provided on the following pages. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



Building Setbacks		Sec. 9.4.11
Primary street setback range (min/max)	0' / 10'	A
Side street setback range (min/max)	0' / 10'	B
Side interior (min)	5'	C
Rear (min)	10'	D
Abutting protected zone (min)	10'	
Landscaping		Div. 5.5
Landscape surface ratio (min)	<u>10%</u>	
Plant Units		
All uses	1/1,000 sf of landscape area	
Parking lot (all uses)	1/12 parking spaces	
Fencing		
Height in primary/side street yard or side yard (max)	4'	
Height in rear yard (max)	6'	
Setback from primary or side street lot line/R.O.W./sidewalk (min)	1'	
Setback from side or rear yard lot line (min)	0'	
Parking Setbacks		
Primary street (min)	30'	
Side street, surface parking (min)	10'	
Side street, screened by bldg. (min)	2'	
Access		
Curb cut width (max)	20'	

2. Bulk Standards



Building Facade Width	Sec. 9.4.12	
Width of ground/2nd story in primary street setback range (min % of lot width)	70%	A
Width of ground/ 2nd story in side street setback range (min % of lot width)	35%	B
Building Height	Sec. 9.4.9	
Height: roof pitch ≥ 5/12 (max)	3 stories, not to exceed 46'	C
Height: roof pitch < 5/12 (max)	3 stories, not to exceed 42'	C
Height in primary or side street setback range (min)	2 stories	D
Building Stepback	Sec. 9.4.14	
Stepback required for 3rd story, primary or side street facade (min)	<u>10'</u>	E
Allowed building encroachment in 3rd story stepback (max % of building width)	<u>40%</u>	F
Scale of Development	Sec. 9.4.13	
<u>Floor area ratio (FAR max)</u>		
<u>Lodging uses</u>	<u>0.80</u>	
<u>All other uses</u>	<u>0.46</u>	
<u>Workforce housing exemption</u>	<u>TBD</u>	

3. Form Standards



Nonresidential Design Guidelines	Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.	
Pedestrian Frontage Options	
Trees in grates	see Sec. 2.2.1.C.2
Trees in lawn	see Sec. 2.2.1.C.3
Building Frontage Options	
Shopfront	see Sec. 2.2.1.D.1
Office	see Sec. 2.2.1.D.2
Residential	see Sec. 2.2.1.D.3
Lodging	see Sec. 2.2.1.D.4
Parking Type Options	
On-street parking	see Sec. 2.2.1.E.1
Surface parking	see Sec. 2.2.1.E.2
Enclosed parking	see Sec. 2.2.1.E.3
Tuck-Under Parking	see Sec. 2.2.1.E.4
Structured parking	see Sec. 2.2.1.E.5
Underground parking	see Sec. 2.2.1.E.6
Remote parking	see Sec. 2.2.1.E.7

4. Environmental Standards	
Natural Resource Setback	Sec 5.1.1
Flat Creek North of Hansen Ave (min)	25'
Flat Creek South of Hansen Ave (min)	50'
Wetland (min)	30'
Irrigation Ditch Setback	Sec. 7.7.4.D
Irrigation Ditch (min)	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	Sec. 5.3.1
Total cuff off angle (max)	90°
Illumination in footcandles	<u>1.50</u>
Residential use	1.00
Nonresidential use	1.50
Height (max)	<u>18'</u>
Residential use	15'
Nonresidential use	18'
Scenic Resource Overlay Standards (SRO)	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	Sec. 5.4.1
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	Sec. 5.4.2
Fault Area	Sec. 5.4.3
Floodplains	Sec. 5.4.4
Wildland Urban Interface	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6
Number of signs (max)	3 per business per frontage	
Background color	No white or yellow	
Sign Area		
Total sign area (max)	3 sf per linear ft of building frontage up to 150 sf	
Penalty	10% per projecting and freestanding sign	
Sign Type Standards		
Canopy sign		
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Freestanding sign		
Height (max)	6'	
Setback (min)	5'	
Projecting sign		
Height (max)	24' above grade	
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Window sign		
Window surface coverage (max)	25% up to 16 sf	
Temporary signs	Sec. 5.6.1	
8. Grading, Erosion Control, Stormwater		
Grading	Sec. 5.7.2	
Erosion Control	Sec. 5.7.3	
Erosion shall be controlled at all times		
Stormwater Management		
Sec. 5.7.4		
No increase in peak flow rate or velocity across property lines		

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 6,000 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
6,000 - 18,000 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 18,000 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing Floor Area (min) (Div 6.3)
Residential Uses					
Attached Single-Family Unit (6.1.4.B)	B	n/a	n/a	1/DU	n/a
Apartment (6.1.4.D)	B	n/a	n/a	1/DU	n/a
Dormitory (6.1.4.F)	C	n/a	n/a	1/bed	n/a
Group Home (6.1.4.G)	B	n/a	n/a	0.5/bed	n/a
Live-Work Unit (6.1.4.H)	B	n/a	n/a	1.5 /DU or 1.5/1,000 sf	n/a
Lodging					
Conventional Lodging (6.1.5.B)	B (LO)	n/a	n/a	0.75/room	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C)	B (LO)	n/a	n/a	1/room	47 sf/1,000 sf
Commercial Uses					
Office (6.1.6.B)	B	6,000 sf	n/a	3.3/1,000 sf	14 sf/1,000 sf
Retail (6.1.6.C)	B	6,000 sf	n/a	4.5/1,000 sf	156 sf/1,000 sf
Service (6.1.6.D)	B	6,000 sf	n/a	3/1,000 sf	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E)	B	6,000 sf	n/a	1/55 sf dining area + 1 per 30 sf bar area	378 sf/1,000 sf
Amusement/Recreation					
Amusement (6.1.7.B)	B	n/a	n/a	1/30 sf seating area or independent calculation	independent calculation
Developed Recreation (6.1.7.D)	B	n/a	n/a	4.5/1,000 sf	independent calculation
Outfitter/Tour Operator (6.1.7.E)	B	n/a	n/a	independent calculation	independent calculation

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2)
(LO) = Lodging Overlay Only

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing Floor Area (min) (Div 6.3)
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C)	B	n/a	n/a	independent calculation	exempt
Transportation/Infrastructure					
Utility Facility (6.1.10.C)	C	n/a	n/a	1/employee + 1 per stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)					
<u>Minor</u>	<u>B</u>	<u>n/a</u>	<u>n/a</u>	1/employee + 1 per stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1-25/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	exempt
Temporary Uses					
Christmas Tree Sales (6.1.12.B)	Y	n/a	n/a	1/1,000 sf outdoor display area + 1 per employee	exempt
Farm Stand (6.1.12. E)	B	n/a	n/a	5/1,000 sf display area	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options									
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot Coverage (max)	Option Standards	
Allowed Subdivision Options									
Land Division	n/a	7,500 sf	n/a	n/a	determined by physical development			Sec. 7.2.3	
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4	
2. Residential Subdivision Requirements									
Affordable Housing								Div. 7.4	
Required Affordable Housing					1 affordable unit per 4 market units				
Schools and Parks Exaction								Div. 7.5	
Schools exaction					.020 acres per 1- or 2-family unit .015 acres per multi-family unit				
Parks exaction					9 acres per 1,000 resident				
3. Infrastructure									
Transportation Facilities								Div. 7.6	
Access								required	
Right-of-way for Minor Local Road (min)								60'	
Paved travel way for Minor Local Road (min)								20'	
Required Utilities								Div. 7.7	
Water								public	
Sewer								public	
4. Required Subdivision and Development Option Permits									
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)		Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)			
Land Division									
≤ 10 Lots			X			X			
> 10 Lots		X	X			X			
Condominium/Townhouse								X	

E. Additional Zone-Specific Standards

1. Parking Requirement

- a. **Shared Parking Reduction.** A 25% parking reduction is allowed from the ratio specified in Sec. 2.2.5.C.2 for all allowed nonresidential land uses (not including lodging).
- b. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits in the development and redevelopment of their property. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable. The credits include previous fee-in-lieu payments for parking, if any.
- c. **On-street Parking Credit.** Credit for on-street parking spaces shall be permitted. The amount of off-street parking required shall be reduced by one off-street parking space for every on-street space in front of the development (i.e., on one side of the street). On-street parking shall follow the established configuration of existing on-street parking, except that angled parking may be allowed for some streets, where permitted by Town and WYDOT standards. The following constitutes an on-street parking space:
 - i. Parallel parking. One space for every 22 feet of uninterrupted curb.
 - ii. 45/60 degree diagonal. One space for every 18 feet of curb.
 - iii. 90-degree (perpendicular) parking. One space for every 9 feet of curb.
 - iv. Curb space shall be contiguous to the lot, which contains the use.
 - v. On-street parking spaces credited for a specific use shall not be used exclusively by that use, but shall be available for general public use at all times. No signs or actions limiting general public use or time of on-street spaces shall be permitted.
 - vi. There shall be no credit given for on-street parking for those properties adjacent to a red curb or other no parking areas put in place by the Town and/or Wyoming Department of Transportation.
- d. **Fee-In-Lieu.** Applicants may fulfill the relevant proportion of their parking requirement off-site through the Town's in-lieu fee program pursuant to the following standards.
 - i. **Fee.** The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with parking and fee schedules set forth by Resolution and in accordance with the standards of this section.

- ii. **Assignment of Credits.** All parking credits run with the land and are not transferable. All credits are calculated and applied in the aggregate, and are not applied on a use-by-use basis.
 - iii. **Banking of Fee-in-Lieu Spaces.** Applicants will be allowed to pay for fee-in-lieu spaces in advance and “bank” the use of said spaces for future redevelopment within the district.
2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
3. LSR Surfaces. The Planning Director may substitute ground-floor hardscape or amenity space improvements to satisfy the LSR requirement if the development can incorporate one or more of the following design elements including, but not limited to:
- a. Pervious or decorative pavers;
 - b. Sidewalks;
 - c. Boardwalks;
 - d. Public art display areas.
 - e. Publicly accessible amenity space; or
 - f. Pedestrian cut-throughs.
4. Nonconforming Detached Single-Family Units. Existing detached single-family units are considered nonconforming but shall not be subject to the 20% floor area expansion limit and will be permitted to develop to the full FAR allowed in the zone. Existing detached single-family units are subject to all other applicable development standards of this Article.

2.2.5. OR: Office Residential

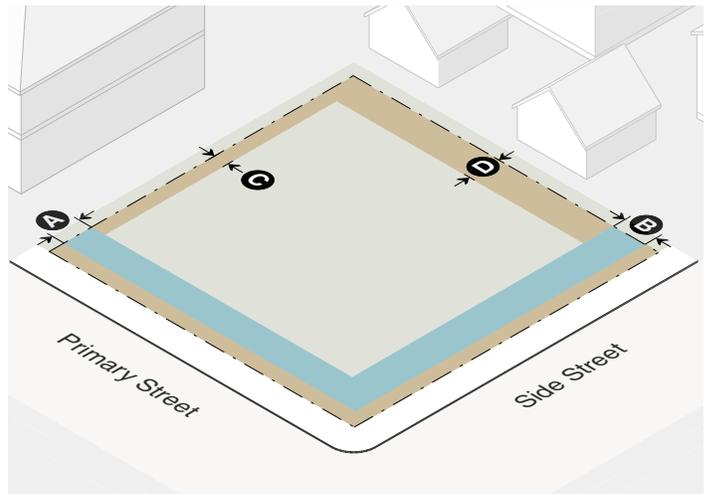
A. Intent

- General Intent.** The intent of the Office Residential (OR) zone is to provide for employment with a mix of higher intensity housing options. Limited neighborhood-serving retail at key nodes is allowed to serve surrounding residential neighborhoods.
- Buildings.** Buildings can be up to 2 stories in height. Massing and articulation is used to enhance residential character and reduce bulk and mass. Buildings are set back with landscaping in front, creating an attractive and green street edge.
- Parking.** Parking is primarily provided on-site, to the rear or side of buildings, and screened from view.
- Land Use.** Office, residential, and neighborhood serving retail are located at ground level with office or residential above and behind. Institutional uses serve as anchors to the local economy that provide jobs and services to the community.
- Comprehensive Plan.** Based primarily on sub area 2.6 of the Comprehensive Plan.

B. Physical Development

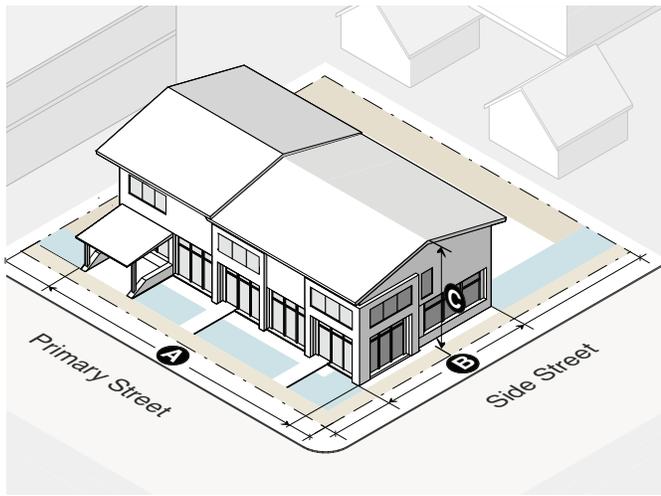
Standards applicable to physical development are provided on the following pages. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



Building Setbacks		Sec. 9.4.11
Primary street setback range (min/max)	5' / 15'	A
Side street setback range (min/max)	5' / 15'	B
Side interior (min)	5'	C
Rear (min)	10'	D
Abutting protected zone (min)	10'	
Landscaping		Div. 5.5
Landscape surface ratio (min)	20%	
Plant Units		
All uses	1/1,000 sf of landscape area	
Parking lot (all uses)	1/12 parking spaces	
Fencing		
Height in primary/side street yard or side yard (max)	4'	
Height in rear yard (max)	6'	
Setback from primary or side street lot line/R.O.W./sidewalk (min)	1'	
Setback from side or rear yard lot line (min)	0'	
Parking Setbacks		
Primary street (min)	30'	
Side street, surface parking (min)	10'	
Side street, screened by bldg. (min)	2'	
Access		
Curb cut width (max)	20'	

2. Bulk Standards



Building Facade Width	Sec. 9.4.12
Width of ground story in primary street setback range (min % of lot width)	70% A
Width of ground story in side street setback range (min % of lot width)	35% B
Building Height	Sec. 9.4.9
Height (max)	2 stories, not to exceed 30' C
Height in primary or side street setback range (min)	n/a
Building Stepback	Sec. 9.4.14
Stepback required for 3rd story, primary or side street facade (min)	n/a
Allowed building encroachment in 3rd story stepback (max % of building width)	n/a
Scale of Development	Sec. 9.4.13
<u>Floor area ratio (FAR max)</u>	<u>0.46</u>
<u>Workforce housing exemption</u>	<u>TBD</u>

3. Form Standards



Nonresidential Design Guidelines	Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.	
Pedestrian Frontage Options	
Trees in grates	see Sec. 2.2.1.C.2
Trees in lawn	see Sec. 2.2.1.C.3
Building Frontage Options	
Office	see Sec. 2.2.1.D.2
Residential	see Sec. 2.2.1.D.3
Parking Type Options	
On-street parking	see Sec. 2.2.1.E.1
Surface parking	see Sec. 2.2.1.E.2
Enclosed parking	see Sec. 2.2.1.E.3
Tuck-Under Parking	see Sec. 2.2.1.E.4
Structured parking	see Sec. 2.2.1.E.5
Underground parking	see Sec. 2.2.1.E.6
Remote parking	see Sec. 2.2.1.E.7

4. Environmental Standards	
Natural Resource Setback	Sec 5.1.1
Flat Creek North of Hansen Ave (min)	25'
Flat Creek South of Hansen Ave (min)	50'
Wetland (min)	30'
Irrigation Ditch Setback	Sec. 7.7.4.D
Irrigation Ditch (min)	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	Sec. 5.3.1
Total cuff off angle (max)	90°
Illumination in footcandles	<u>1.50</u>
Residential use	1.00
Nonresidential use	1.50
Height (max)	<u>18'</u>
Residential use	15'
Nonresidential use	18'
Scenic Resource Overlay Standards (SRO)	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	Sec. 5.4.1
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	Sec. 5.4.2
Fault Area	Sec. 5.4.3
Floodplains	Sec. 5.4.4
Wildland Urban Interface	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6
Number of signs (max)	3 per business per frontage	
Background color	No white or yellow	
Sign Area		
Total sign area (max)	3 sf per linear ft of building frontage up to 150 sf	
Penalty	10% per projecting and freestanding sign	
Sign Type Standards		
Canopy sign		
Clearance (min)	7'6" average grade	
Setback (min)	18" from back of curb	
Freestanding sign		
Height (max)	6'	
Setback (min)	5'	
Projecting sign		
Height (max)	24' above grade	
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Window sign		
Window surface coverage (max)	25% up to 16 sf	
Temporary signs	Sec. 5.6.1	
8. Grading, Erosion Control, Stormwater		
Grading	Sec. 5.7.2	
Erosion Control	Sec. 5.7.3	
Erosion shall be controlled at all times		
Stormwater Management		
Sec. 5.7.4		
No increase in peak flow rate or velocity across property lines		

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 5,000 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
5,000 - 11,250 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 11,250 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing Floor Area (min) (Div 6.3)
Residential Uses					
Attached Single-Family Unit (6.1.4.B)	B	n/a	n/a	1/DU	n/a
Apartment (6.1.4.D)	B	n/a	n/a	1/DU	n/a
Dormitory (6.1.4.F)	C	n/a	n/a	1/bed	n/a
Group Home (6.1.4.G)	C	n/a	n/a	0.5/bed	n/a
Live-Work Unit (6.1.4.H)	B	n/a	n/a	1.5 /DU or 1.5/1,000 sf	n/a
Commercial Uses					
Office (6.1.6.B)	B	n/a	n/a	3.3/1,000 sf	14 sf/1,000 sf
Local Convenience (6.1.6.I)	B	2,000 sf	n/a	None required	15.6 sf/1,000 sf
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C)	B	n/a	n/a	independent calculation	exempt
Transportation/Infrastructure					
Utility Facility (6.1.10.C)	C	n/a	n/a	1/employee + 1 per stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)				1/employee + 1 per stored vehicle	independent calculation
Minor	B	n/a	n/a		

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2)

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing Floor Area (min) (Div 6.3)
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1:25/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	exempt
Temporary Uses					
Temporary Shelter (6.1.12.D)	Y	n/a	n/a	2/DU	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2)

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options								
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot Coverage (max)	Option Standards
Allowed Subdivision Options								
Land Division	n/a	7,500 sf	n/a	n/a	determined by physical development			Sec. 7.2.3
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4
2. Residential Subdivision Requirements								
Affordable Housing								Div. 7.4
Required Affordable Housing					1 affordable unit per 4 market units			
Schools and Parks Exaction								Div. 7.5
Schools exaction					.020 acres per 1- or 2-family unit .015 acres per multi-family unit			
Parks exaction					9 acres per 1,000 resident			
3. Infrastructure								
Transportation Facilities								Div. 7.6
Access								required
Right-of-way for Minor Local Road (min)								60'
Paved travel way for Minor Local Road (min)								20'
Required Utilities								Div. 7.7
Water								public
Sewer								public
4. Required Subdivision and Development Option Permits								
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)			
Land Division								
≤ 10 Lots			X		X			
> 10 Lots		X	X		X			
Condominium/Townhouse								X

E. Additional Zone-Specific Standards

1. Parking Requirement

- a. **Shared Parking Reduction.** A 25% parking reduction is allowed from the ratio specified in Sec. 2.2.3.C.2 for all allowed nonresidential land uses.
- b. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits in the development and redevelopment of their property. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable. The credits include previous fee-in-lieu payments for parking, if any.
- c. **On-street Parking Credit.** Credit for on-street parking spaces shall be permitted. The amount of off-street parking required shall be reduced by one off-street parking space for every on-street space in front of the development (i.e., on one side of the street). On-street parking shall follow the established configuration of existing on-street parking, except that angled parking may be allowed for some streets, where permitted by Town and WYDOT standards. The following constitutes an on-street parking space:
 - i. Parallel parking. One space for every 22 feet of uninterrupted curb.
 - ii. 45/60 degree diagonal. One space for every 18 feet of curb.
 - iii. 90-degree (perpendicular) parking. One space for every 9 feet of curb.
 - iv. Curb space shall be contiguous to the lot, which contains the use.
 - v. On-street parking spaces credited for a specific use shall not be used exclusively by that use, but shall be available for general public use at all times. No signs or actions limiting general public use or time of on-street spaces shall be permitted.
 - vi. There shall be no credit given for on-street parking for those properties adjacent to a red curb or other no parking areas put in place by the Town and/or Wyoming Department of Transportation.

2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.

3. **LSR Surfaces.** The Planning Director may substitute ground-floor hardscape or amenity space improvements to satisfy the LSR requirement if the development can incorporate one or more of the following design elements including, but not limited to:
 - a. Pervious or decorative pavers;
 - b. Sidewalks;
 - c. Boardwalks;
 - d. Public art display areas,
 - e. Publicly accessible amenity space; or
 - f. Pedestrian cut-throughs.
4. **Nonconforming Units**
 - a. Detached Single-Family Units. Existing detached single-family units are considered nonconforming but shall not be subject to the 20% floor area expansion limit and will be permitted to develop to the full FAR allowed in the zone. Existing detached single-family units are subject to all other applicable development standards of this Article.

2.2.6. RC: Residential Core

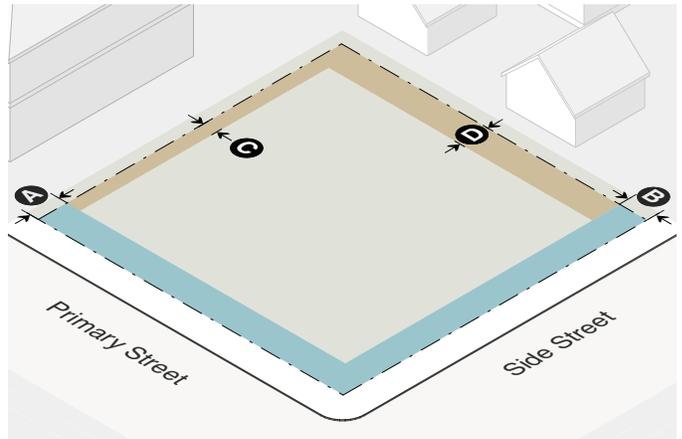
A. Intent

- General Intent.** The intent of the Residential Core (RC) zone is to provide active and high density residential areas with a variety of housing options, amenities, and open spaces, consisting of tree-lined streets with active building facades (porches, stoops, balconies) pulled up to the street. This zone is also intended to provide workforce housing, and to support downtown businesses.
- Buildings.** Buildings can be up to 3 stories in height. Massing and articulation is used to enhance residential character and reduce bulk and mass. Front setbacks are varied, some buildings are pulled up to the street with others set back with landscaping in front, creating an attractive and green street edge.
- Parking.** Parking is primarily provided on-site, to the rear or side of buildings and screened from view.
- Land Use.** Intended primarily for high-density residential uses, including workforce housing, with limited single-family detached units and neighborhood-serving retail and service uses.
- Comprehensive Plan.** Based primarily on sub areas 2.3, 2.5, and 3.2 of the Comprehensive Plan.

B. Physical Development

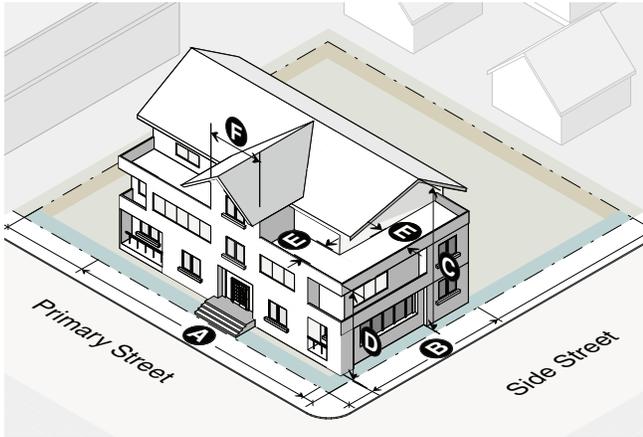
Standards applicable to physical development are provided on the following pages. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



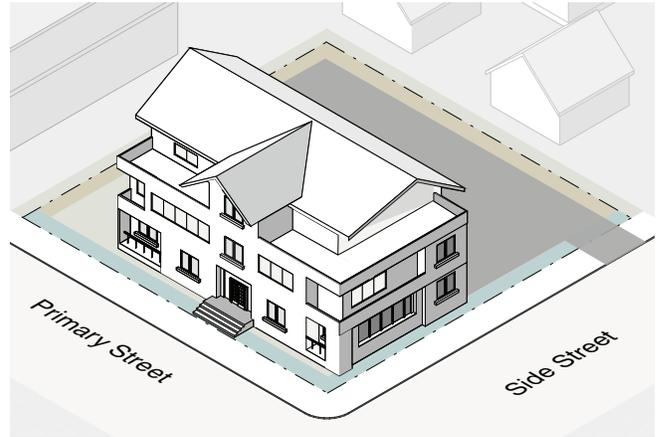
Building Setbacks		Sec. 9.4.11
Primary street setback range (min/max)	0' / 15'	A
Side street setback range (min/max)	0' / 15'	B
Side interior (min)	5'	C
Rear (min)	10'	D
Abutting protected zone (min)	10'	
Landscaping		Div. 5.5
Landscape surface ratio (min)	20%	
Plant Units		
All uses	1/1,000 sf of landscape area	
Parking lot (all uses)	1/12 parking spaces	
Fencing		
Height in primary/side street yard or side yard (max)	4'	
Height in rear yard (max)	6'	
Setback from primary or side street lot line/R.O.W./sidewalk (min)	1'	
Setback from side or rear yard lot line (min)	0'	
Parking Setbacks		
Primary street (min)	30'	
Side street, surface parking (min)	30'	
Side street, screened by bldg. (min)	2'	
Access		
Curb cut width (max)	20'	

2. Bulk Standards



Building Facade Width	Sec. 9.4.12	
Width of ground/2nd story in primary street setback range (min % of lot width)	60%	A
Width of ground/ 2nd story in side street setback range (min % of lot width)	30%	B
Building Height	Sec. 9.4.9	
Height: roof pitch \geq 5/12 (max)	3 stories, not to exceed 46'	C
Height: roof pitch $<$ 5/12 (max)	3 stories, not to exceed 42'	C
Height in primary or side street setback range (min)	2 stories	D
Building Stepback	Sec. 9.4.14	
Stepback required for 3rd story, primary or side street facade (min)	<u>10'</u>	E
Allowed building encroachment in 3rd story stepback (max % of building width)	<u>40%</u>	F
Scale of Development	Sec. 9.4.13	
<u>Floor area ratio (FAR max)</u>	<u>0.65</u>	
<u>Workforce housing exemption</u>	<u>TBD</u>	

3. Form Standards



Nonresidential Design Guidelines	Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.	
Pedestrian Frontage Options	
Covered walkway	see Sec. 2.2.1.C.1
Trees in grates	see Sec. 2.2.1.C.2
Building Frontage Options	
Residential	see Sec. 2.2.1.D.3
Parking Type Options	
On-street parking	see Sec. 2.2.1.E.1
Surface parking	see Sec. 2.2.1.E.2
Enclosed parking	see Sec. 2.2.1.E.3
Structured parking	see Sec. 2.2.1.E.5
Underground parking	see Sec. 2.2.1.E.6
Remote parking	see Sec. 2.2.1.E.7

4. Environmental Standards	
Natural Resource Setback	Sec 5.1.1
Flat Creek North of Hansen Ave (min)	25'
Flat Creek South of Hansen Ave (min)	50'
Wetland (min)	30'
Irrigation Ditch Setback	Sec. 7.7.4.D
Irrigation Ditch (min)	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	Sec. 5.3.1
Total cuff off angle (max)	90°
Illumination in footcandles	<u>1.50</u>
Residential use	1.00
Nonresidential use	1.50
Height (max)	<u>18'</u>
Residential use	15'
Nonresidential use	18'
Scenic Resource Overlay Standards (SRO)	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	Sec. 5.4.1
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	Sec. 5.4.2
Fault Area	Sec. 5.4.3
Floodplains	Sec. 5.4.4
Wildland Urban Interface	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6
Number of signs (max)	3 per business per frontage	
Background color	No white or yellow	
Sign Area		
Total sign area (max)	3 sf per linear ft of building frontage up to 150 sf	
Penalty	10% per projecting and freestanding sign	
Sign Type Standards		
Canopy sign		
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Freestanding sign		
Height (max)	6'	
Setback (min)	5'	
Projecting sign		
Height (max)	24' above grade	
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Window sign		
Window surface coverage (max)	25% up to 16 sf	
Temporary signs	Sec. 5.6.1	
8. Grading, Erosion Control, Stormwater		
Grading	Sec. 5.7.2	
Erosion Control	Sec. 5.7.3	
Erosion shall be controlled at all times		
Stormwater Management	Sec. 5.7.4	
No increase in peak flow rate or velocity across property lines		

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 5,000 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
5,000 - 15,000 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 15,000 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing Floor Area (min) (Div 6.3)
Residential Uses					
<u>Detached Single-Family Unit (6.1.4.B)</u>	<u>B</u>	<u>n/a</u>	<u>n/a</u>	<u>1/DU</u>	<u>n/a</u>
Attached Single-Family Unit (6.1.4.C)	B	n/a	n/a	1/DU	n/a
Apartment (6.1.4.D)	B	n/a	n/a	1/DU	n/a
Dormitory (6.1.4.F)	C	n/a	n/a	1/bed	n/a
Group Home (6.1.4.G)	B	n/a	n/a	0.5/bed	n/a
Commercial Uses					
Local Convenience (6.1.6.I)	B	2,000 sf	n/a	None required	15.6 sf/1,000 sf
Transportation/Infrastructure					
Utility Facility (6.1.10.C)	C	n/a	n/a	1/employee + 1 per stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)				1/employee + 1 per stored vehicle	independent calculation
<u>Minor</u>	<u>B</u>	<u>n/a</u>	<u>n/a</u>		
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	<u>1-25/DU</u>	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	exempt
Home Business (6.1.11.D)	B	n/a	n/a	1 per employee	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2)
(LO) = Lodging Overlay Only

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	55 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options								
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot Coverage (max)	Option Standards
Allowed Subdivision Options								
Land Division	n/a	7,500 sf	n/a	n/a	determined by physical development			Sec. 7.2.3
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4
2. Residential Subdivision Requirements								
Affordable Housing								Div. 7.4
Required Affordable Housing	1 affordable unit per 4 market units							
Schools and Parks Exaction								Div. 7.5
Schools exaction	.020 acres per 1- or 2-family unit .015 acres per multi-family unit							
Parks exaction	9 acres per 1,000 resident							
3. Infrastructure								
Transportation Facilities								Div. 7.6
Access								required
Right-of-way for Minor Local Road (min)								60'
Paved travel way for Minor Local Road (min)								20'
Required Utilities								Div. 7.7
Water								public
Sewer								public

4. Required Subdivision and Development Option Permits					
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)
Land Division					
≤ 10 Lots			X		X
> 10 Lots		X	X		X
Condominium/Townhouse					X

E. Additional Zone-Specific Standards

1. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
2. **Detached Single-Family Units.** Detached single-family units are allowed in the RC zone, provided each of the following conditions is met:
 - i. The entire property is more than or equal to 5 acres in area;
 - ii. No more than 20% of the units are detached single-family units;
 - iii. Individual lots do not exceed 5,000 square feet in area; and
 - iv. The lots may not be combined for development purposes.
3. **Nonconforming Detached Single-Family Units.** Existing detached single-family units are considered nonconforming but shall not be subject to the 20% floor area expansion limit and will be permitted to develop to the full FAR allowed in the zone. Existing detached single-family units are subject to all other applicable development standards of this Article.

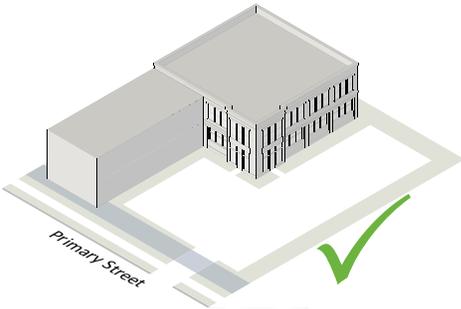
Div. 1.9. Nonconformities

1.9.2 Nonconforming Physical Development

E. Nonconforming Building Facade Width

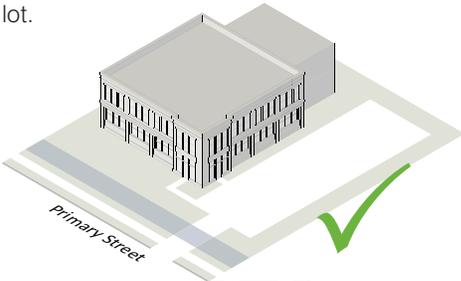
1. Additions

Expansion of an existing building that is unable to meet the building facade width requirement must comply with the following provisions.



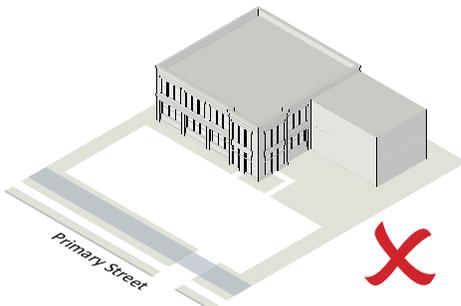
Front: Addition

Any addition to the front must be placed in the street setback range. The addition does not have to meet the required building facade width for the lot.



Rear: Addition

Rear additions are allowed because the extension does not increase the degree of the nonconformity.

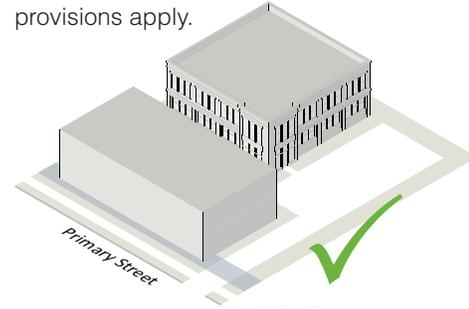


Side: Addition

Side additions are not allowed because the extension increases the width of the building not located in the street setback range.

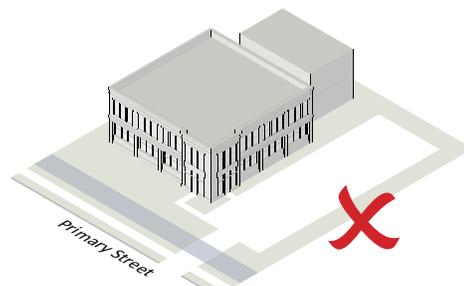
2. New Buildings

Where a new building is being constructed on a lot with an existing building that doesn't meet the building facade width requirement, the following provisions apply.



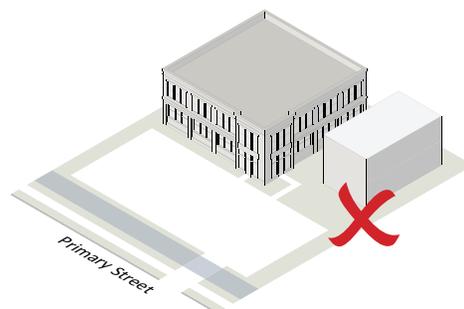
Front: New Building

All new buildings must be placed in the street setback range until the required building facade width for the lot has been met.



Rear: New Building

New buildings located outside of the street setback range are not allowed until the required building facade width for the lot has been met.



Side: New Building

New buildings located outside of the street setback range are not allowed until the required building facade width for the lot has been met.

Div. 6.1. Allowed Uses

6.1.6 Commercial Uses

E. Restaurant/Bar

1. **Definition.** A restaurant or bar is an establishment oriented to the serving of food or beverages.
 - a. Includes:
 - i. Micro-brewery, micro-distillery or micro-winery.
2. **Standards.**
 - a. Breweries, distilleries and wineries are generally considered light industrial uses. In order to be considered a restaurant/bar, a micro-brewery, micro-distillery or micro-winery must include a tasting room in which guests or customers may sample the product, and the facility must produce no more than the following beverage volumes on-site each year:
 - i. 15,000 gallons of fermented malt beverages;
 - ii. 15,000 gallons of spirituous beverages; or
 - iii. 100,000 gallons of vinous beverages.

I. Local Convenience

1. **Definition.** Local convenience uses are retail and service uses that are located in small tenant spaces and intended to serve the surrounding neighborhood only. This use is not intended to attract customers and vehicular traffic from the Town as a whole.

Div. 8.8 Relief from the LDRs

8.8.1. Administrative Adjustment

B. Applicability

An application may be made for administrative adjustment of the following standards of the LDRs.

1. Landscape Surface Ratio may be adjusted up to 20%.
2. Structure setbacks, not including setbacks from natural resources, may be adjusted up to 20%.
3. Site development setbacks, not including setbacks from natural resources, may be adjusted up to 20%.
4. Fencing height and setbacks may be adjusted up to 20%.
5. Grade of developable slopes may be adjusted up to 20%.
6. Any dimensional standard of a pedestrian frontage or building frontage may be adjusted up to 20%.
7. Building facade width may be adjusted up to 20%.
8. Wildlife friendly fencing may be adjusted as allowed by 5.1.2.E.
9. Standard plant units may be adjusted as allowed by 5.5.3.F.3.
10. Sign standards may be adjusted as allowed by 5.6.1.B.2.
11. Parking requirement may be adjusted as allowed by 6.2.2.A.1.

Div. 9.4. Rules of Measurement

9.4.9 Height

D. Roof Access

Structures used exclusively for elevator or stairway access to a roof may exceed the established height limit of the zoning district provided they do not exceed the maximum height by more than 10 feet, do not occupy more than 20% of the roof area, and are not visible from ground level view from an abutting street.

9.4.10 Primary and Side Street Designation

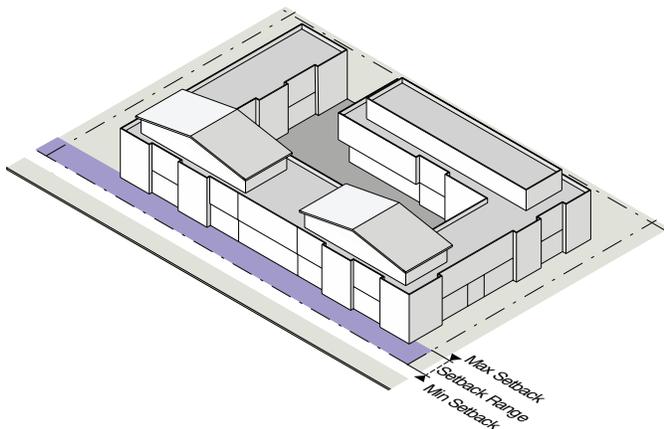
The Planning Director will designate primary and side streets based on the criteria below:

- A. A lot may have more than one primary street.
- B. A lot with multiple street fronts must designate at least one primary street according to the considerations below:
 - 1. The street or streets with the highest classification;
 - 2. The established orientation of the block;
 - 3. The street or streets abutting the longest face of the block;
 - 4. The street or streets parallel to an alley within the block;
 - 5. The street that the lot takes its address from; and
 - 6. The pedestrian orientation of adjacent or abutting development, existing or proposed.

9.4.11 Street Setback Range

A. Defined

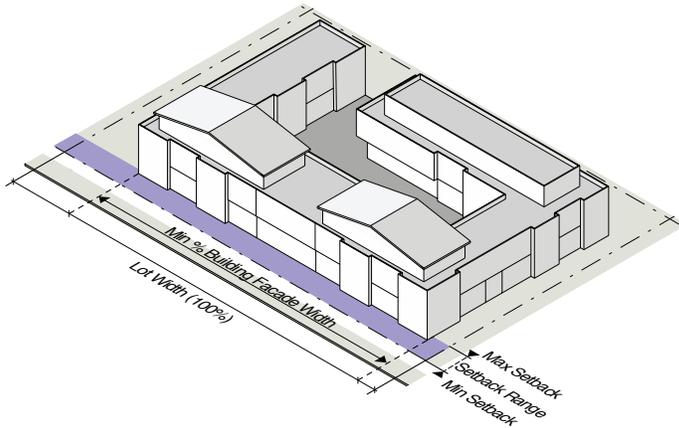
The street setback range is the area on the lot where a certain percentage of the front building facade must be located, measured as a minimum and maximum setback from the back of the pedestrian frontage line.



9.4.12 Building Facade Width

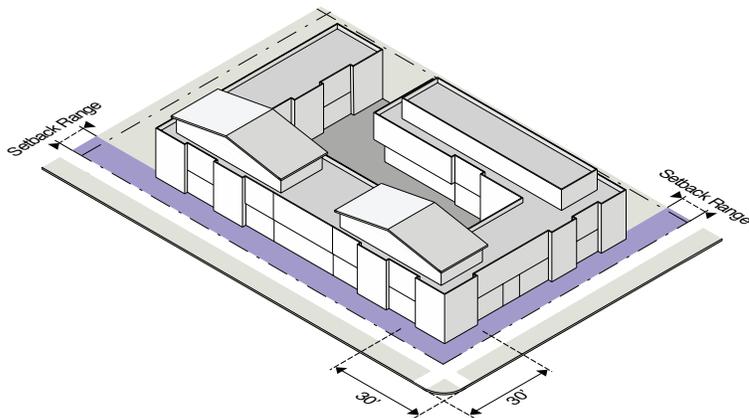
A. Defined

The required percentage specifies the amount of the front building facade that must be located in the primary street or side street setback range, measured based on the width of the building divided by the width of the lot.



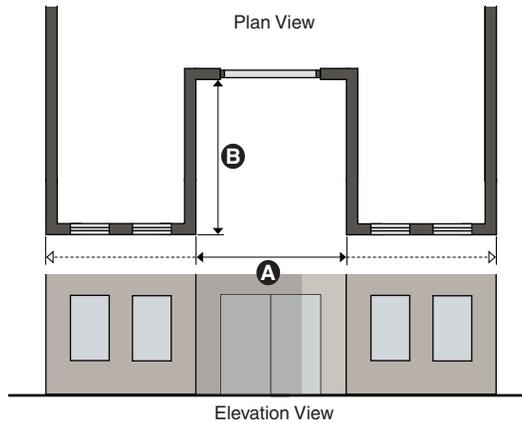
B. Corner Lots

On a corner lot, the first 30 feet along the primary and side street extending from the block corner, measured from the back of curb, must include a building facade within the street setback range.



C. Forecourt

A forecourt (defined as an open area at grade, or within 30 inches of grade, that serves as an open space, plaza or outdoor dining area) that meets the standards below is considered part of the building for the purpose of meeting the required facade width in the street setback range.



Width (max)	1/3 of building width up to 35'	A
Depth (min)	35'	B
Transparency, forecourt-facing facades	40%	

D. Uses Allowed

With the exception of parking spaces and outdoor storage, all structures and uses (including outdoor dining) allowed on the lot are allowed in the primary and side street setback range.

E. Side or Rear Setback

When the side interior or rear setback is 0 or 5 feet, the building or structure may be placed on the property line or be placed a minimum of 5 feet from the property line.

9.4.13 Workforce Housing Incentives

A. Cumulative Limit on Incentives

1. Utilization of the workforce housing incentives identified in this Section shall be monitored such that each time an incentive is approved, the total number of units approved is added to the cumulative total of units added through the incentives of this Section.
2. Use of an incentive in this Section is prohibited if the application would cause the sum of the cumulative total of the units approved through incentives plus the base zoning allowed in the community to increase the community's residential buildout.

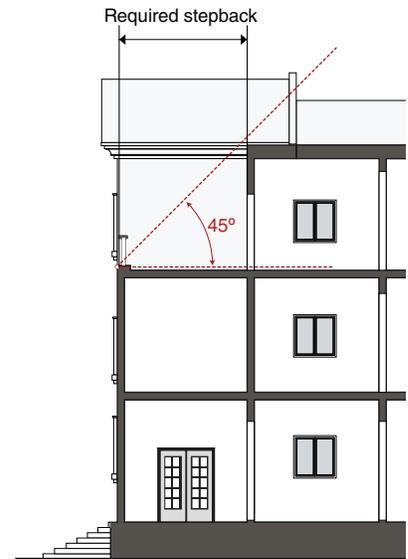
B. Exempt Floor Area for Workforce Housing

1. Intent. The purpose of the workforce housing floor area exemption is to encourage development of workforce housing to fill out the form in zones with greater bulk and scale allowances.
2. Applicability. This incentive shall apply in the following zones.
 - a. DC: Downtown Core
 - b. CR-1: Commercial Residential - 1
 - c. CR-2: Commercial Residential - 2
 - d. OR: Office Residential
 - e. RC: Residential Core
3. Exemption. Floor area meeting the standards of this section is exempt from the Floor Area Ratio (FAR) maximum of the zone as well as the thresholds for development permits. The exempt floor area is still subject to all other applicable standards of these LDRs.
4. Allowed Use. The exempt floor area may only be used for residential uses and shall have at least the following ratio of restricted to unrestricted floor area.
 - a. TBD

9.4.14 Building Stepback

A. Stepback Required

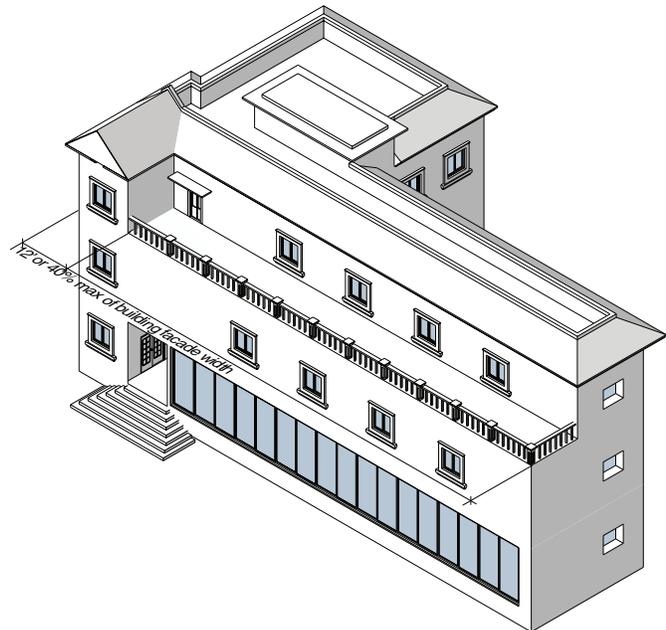
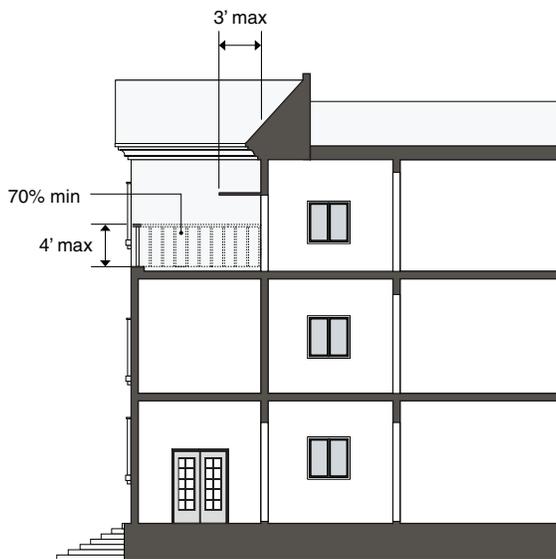
1. Where allowed, all third story primary or side street-facing building facades must be stepped back as required by the zone from the top of the second story outer wall plane.
2. No part of the building, except as listed below, can project into a 45-degree encroachment plane extending inward measured from the highest point of the second story outer wall plane.



B. Encroachments

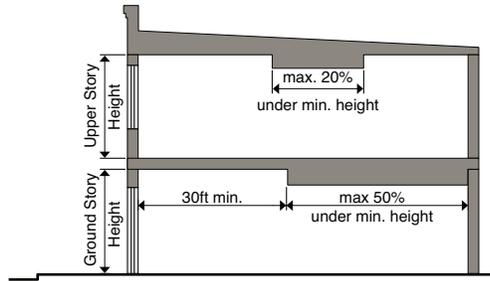
No part of a building may project into the encroachment plane, except as listed below:

1. Balcony railings provided they are a maximum height of 4 feet and are at least 75% open.
2. Building eaves, roof overhangs, awnings, and light shelves provided they don't extend more than 3 feet into the encroachment plane.
3. Any part of the building not exceeding 12 feet in width for any one element up to a total maximum of 40% of the building facade width.

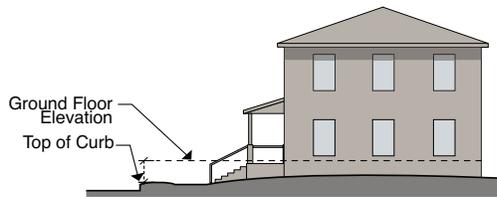


9.4.15 Story Height

- A. Story height is measured from the top of the finished floor to the ceiling above.
- B. The minimum ground story height applies to the first 30 feet of the building measured inward from the street-facing facade. At least 50% of the ground story must meet the minimum height provisions.
- C. At least 80% of each upper story must meet the minimum upper story height provisions.

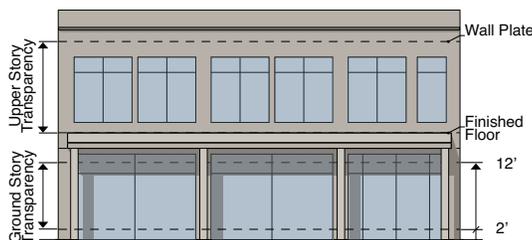


- D. Ground floor elevation is measured from top of the adjacent curb to the top of the finished ground floor.
- E. Minimum ground floor elevation applies to the first 30 feet of the lot measured from the right-of-way line.



9.4.16 Transparency

- A. Transparency is the minimum percentage of windows and doors that must cover a ground and upper story facades.

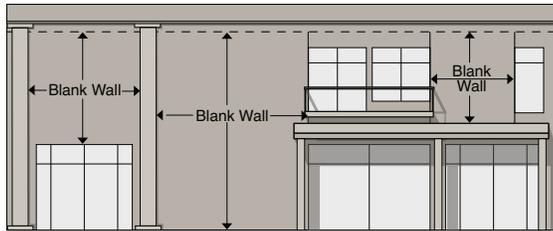


- B. Transparency is determined by dividing the total area of windows and doors on the story by the total area of the story's facade. The story facade is the area between the top of the finished floor to the top of the finished floor above. When there is no floor above, it is measured to the top of the wall plate. For the Shopfront Frontage, ground story transparency is measured between 2 and 12 feet above the adjacent sidewalk.

- C. Transparency applies to primary and side street-facing facades only.
- D. Glass is considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%.
- E. In the Shopfront Frontage, at least 70% of street-facing, ground story windows must allow views into the building for a depth of at least 8 feet. Windows cannot be made opaque by window treatments (except operable sunscreen devices).

9.4.17 Blank Wall Area

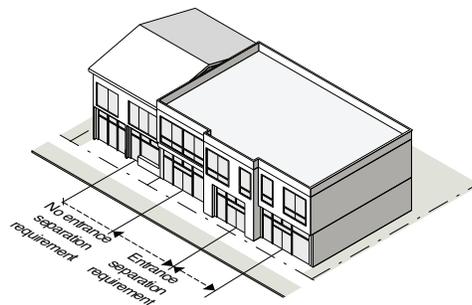
- A. Blank wall area is the portion of the exterior facade of the building that does not include: windows or doors; columns, pilasters or other articulation greater than 12 inches in depth; or a substantial material change (paint color is not considered a substantial change). The same material used in a different pattern does not constitute a substantial material change.



- B. Blank wall area applies in both a vertical and horizontal direction and to ground and upper story primary and side street-facing facades.

9.4.18 Pedestrian Access

- A. An entrance providing both ingress and egress, operable to residents or customers at all times during operating hours, is required to meet the street-facing entrance requirements. Additional entrances off another street, pedestrian area or internal parking area are permitted.
- B. The entrance spacing requirements must be met for each building, but are not applicable to adjacent buildings.



- C. An angled entrance may be provided at either corner of a building along the street to meet the street-facing entrance requirements.

Div. 9.5. Defined Terms

Protected Zone. A protected zone includes the following zoning districts: Neighborhood Conservation - Single-Family District (NC-SF) and Auto-Urban Residential District (AR).