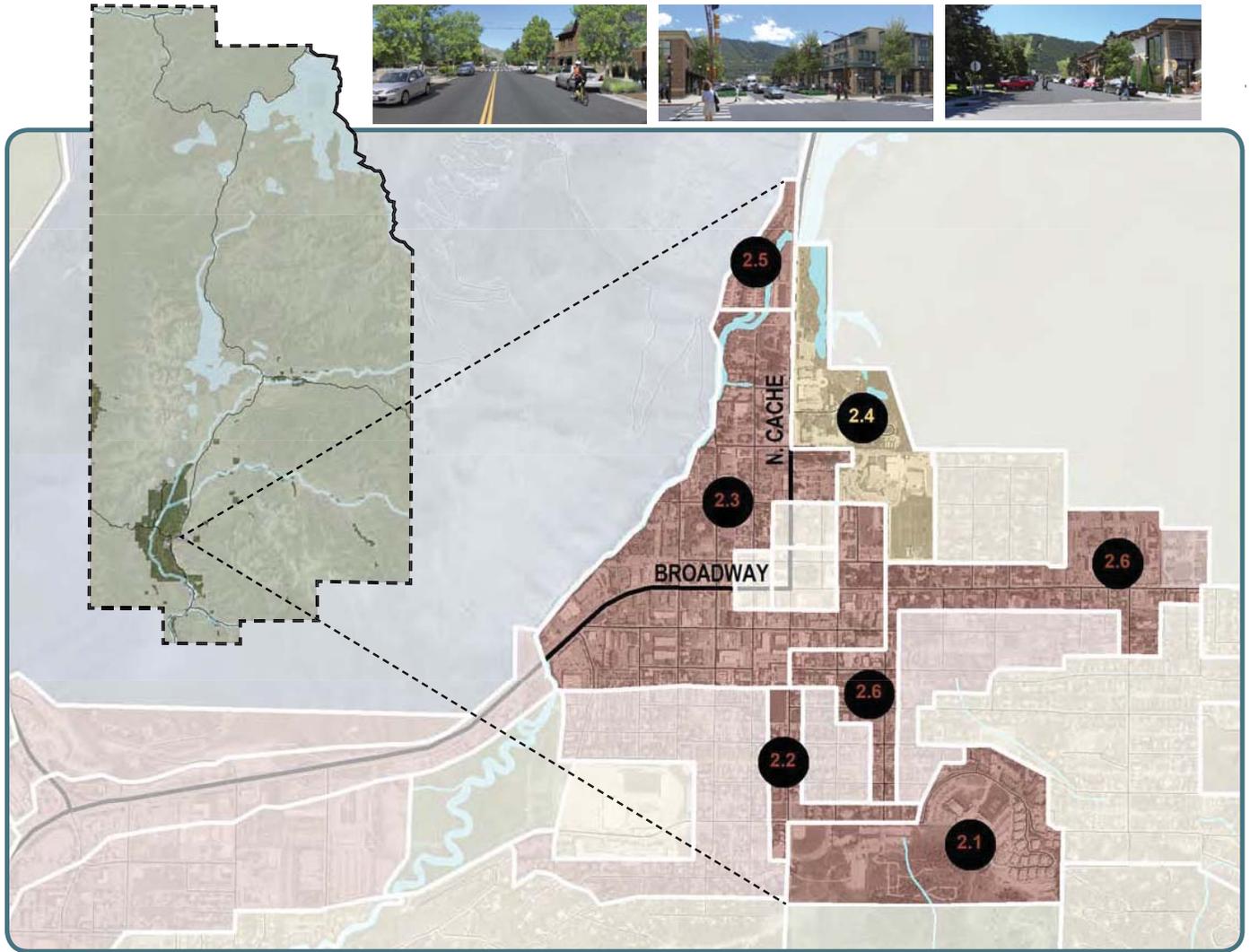


DISTRICT 2: COMMERCIAL CORE ZONING RECOMMENDATIONS



TOWN OF JACKSON
FINAL READINGS DRAFT
JUNE 1, 2016

REDLINE OF MARCH 4, 2016 PUBLIC REVIEW DRAFT

Div. 2.1. All Complete Neighborhood Zones	2
2.1.1. Character Zones.....	2
2.1.2. Legacy Zones	2
Div. 2.2. Complete Neighborhood Character Zones.....	3
2.2.1. Rules Applicable to All Complete Neighborhood Character Zones.....	3
2.2.2. DC: Downtown Core	10
2.2.3. CR-1: Commercial Residential-1	18
2.2.4. CR-2: Commercial Residential-2	26
2.2.5. OR: Office Residential	34
2.2.6. RC: Residential Core	42
Div. 1.9. Nonconformities.....	48
1.9.2 Nonconforming Physical Development	48
Div. 2.3. Complete Neighborhood Legacy Zones.....	50
Sec. 2.3.1. Town Square (TS)	50
Sec. 2.3.2. Urban Commercial (UC).....	52
Div. 5.6. Sign Standards.....	55
Sec. 5.6.1 Town Sign Standards.....	55
Div. 5.8. Design Guidelines	55
Sec. 5.8.1 Applicability.....	55
Div. 6.1. Allowed Uses	56
6.1.4. Residential Uses.....	56
6.1.5. Lodging Uses	56
6.1.6. Commercial Uses	57
Div. 6.2. Parking and Loading Standards.....	57
6.2.6. Parking and Loading Standards in the Downtown Parking District [deleted]	57
<u>Div. 7.8. Workforce Housing Incentive Program.....</u>	<u>61</u>
<u>7.8.1. Intent.....</u>	<u>61</u>
<u>7.8.2. Cumulative Limit on Incentives.....</u>	<u>61</u>
<u>7.8.3. Deed Restricted Housing Exemption</u>	<u>61</u>
<u>7.8.4. Workforce Housing Floor Area Bonus</u>	<u>62</u>
Div. 8.8 Relief from the LDRs.....	64
8.8.1. Administrative Adjustment.....	64
Div. 9.4. Rules of Measurement	65
9.4.6. Density/Intensity	65
9.4.8 Setback.....	66
<u>9.4.9 Building Height.....</u>	<u>68</u>
9.4.10 Street <u>Lot Line</u> Designation	68

9.4.11 Street Facade-Building Facade Width.....69

9.4.12 Building Stepback 70

9.4.13 Story Height 71

9.4.14 Transparency 72

9.4.15 Blank Wall Area..... 72

9.4.16 Pedestrian Access..... 73

9.4.17 Workforce Housing Incentives..... 73

Div. 9.5. Defined Terms 74

Article 2. Complete Neighborhood Zones

Div. 2.1. All Complete Neighborhood Zones

Complete neighborhood zones are zones that are intended to enhance the locations in the community that are most appropriate for development and use as the most desirable places to live, work, and play. There are 2 types of complete neighborhood zones.

2.1.1. Character Zones

Character zones are character-based and established to implement the Comprehensive Plan. The character zones include:

- A. Downtown Core (DC)
- B. Commercial Residential-1 (CR-1)
- C. Commercial Residential-2 (CR-2)
- D. Office Residential (OR)
- E. Residential Core (RC)

2.1.2. Legacy Zones

Legacy zones are carried forward from the previous Land Development Regulations and it is the intent that many legacy zones will be phased out over time as character zones are adopted and applied. The legacy zones include:

- A. Town Square (TS)
- B. Urban Commercial (UC)
- C. Urban Residential (UR)
- D. Auto Urban Commercial-Town (AC-ToJ)
- E. Auto Urban Residential-Town (AR-ToJ)
- F. Business Park-Restricted Uses (BP-R)
- G. Business Park-Town (BP-ToJ)
- H. Business Conservation-Town (BC-ToJ)
- I. Residential Business (RB)
- J. Mobile Home Park-Town (MHP-ToJ)
- K. Neighborhood Conservation-Town (NC-ToJ)
- L. Neighborhood Conservation-Two-Family (NC-2)
- M. Suburban-Town (S-ToJ)

Div. 2.2. Complete Neighborhood Character Zones

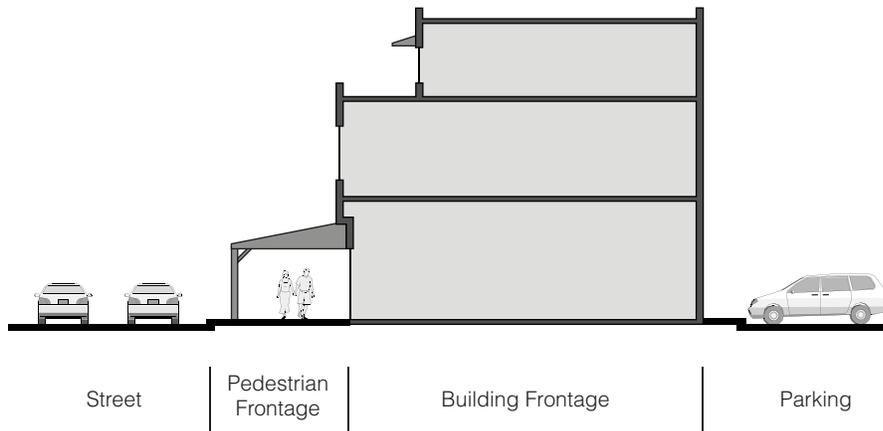
This division provides the development standards that apply to all Complete Neighborhood Character Zones. The standards are organized into three categories: 1) lot standards; 2) bulk standards; and 3) form standards. Each character zone contains specific standards related to these three categories.

2.2.1. Rules Applicable to All Complete Neighborhood Character Zones

A. Form Standards

The form rules for character zones are set out in the following categories (as illustrated below):

1. Streets;
2. Pedestrian Frontages;
3. Building Frontages; and
4. Parking.



B. Streets

See the Town of Jackson 2015 Community Streets Plan for street cross-sections intended for locations throughout the Town.

C. Pedestrian Frontages

Pedestrian frontages are the spaces that occur on public or private property between the curb and the building, and are required along all primary and secondary streets. Good pedestrian frontages are essential for fostering mixed-use, walkable, and pedestrian-oriented development. Specific rules for each pedestrian frontage are listed below.

A pedestrian frontage is composed of three parts:

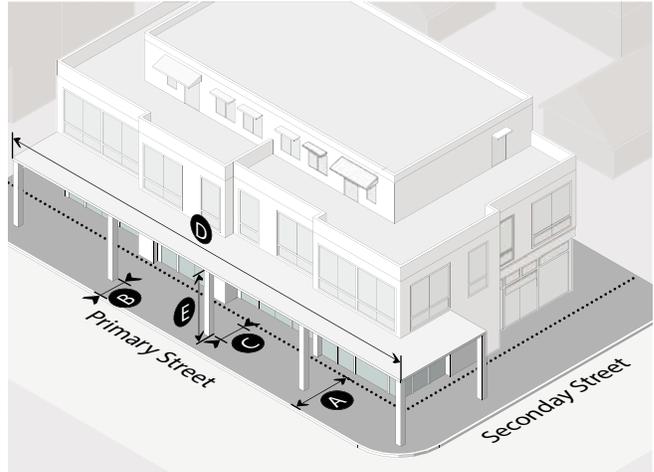
- Furnishing/Planting Area. The furnishing/planting area is the area between the back of curb and the clear sidewalk. This area provides for columns, required plantings, accessible ramps, signs, fire hydrants, snow storage, parked vehicle overhang or door swing, etc.
- Clear Sidewalk. The clear sidewalk is the primary pedestrian travelway and shall be clear of any obstacles or protruding objects.
- Building Transition Area. The remaining space between the clear sidewalk and building facade is a semi-public/private, building transition area that provides room for front door swings, planter boxes, window shopping, outdoor cafe seating, street furniture, public art, etc.

Where private property is used for a furnishing/planting area or a clear sidewalk—a Pedestrian Frontage, an easement may shall be permanently dedicated to the Town. ~~The applicant may change from a frontage with Trees in Grates to one with Trees in Lawn along the same street frontage, provided that both pedestrian frontage types are allowed in the applicable zoning district. Where the building facade does not lie at the back edge of the Pedestrian Frontage, and the gap may be used for additional sidewalk width, landscaping, or hardscaping, including street furniture and public art.~~

See Sec. 2.2.2. through Sec. 2.2.6. to determine which pedestrian frontages may be allowed in each zone. ~~The rules of measurement for a pedestrian frontage are in Sec. 9.4. The Planning Director will determine the appropriate pedestrian frontage from the options for a zone based on the established pedestrian frontage and desired pedestrian frontage described in the Community Streets Plan.~~

The Planning Director may establish lesser standards in any pedestrian frontage pursuant to the procedure of Sec. 8.8.1. in order to achieve consistency between the established pedestrian frontage and the desired pedestrian frontage described in the Community Streets Plan.

1. Covered Walkway



Description

A covered walkway provides visual interest along the street edge, reduces the perceived mass of the building facade, and provides shelter from the rain, snow, and sun throughout the year. A covered walkway also reduces winter maintenance and improves pedestrian safety. A covered walkway is supported by posts or columns, or cantilevered from the building facade.

Pedestrian Frontage Dimensions

Total width from back of curb (min)	13'-15'	A
Sidewalk width (min)	15'	
Furnishing/planting area (min-max)	18" - 3'-n/a	B
Distance from overhang to curb line or edge of pavement (min-max)	18" - 5'	
Clear sidewalk width (min)	8'-10'	C

Additional Specifications Covered Walkway

Gallery must be contiguous and extend for at least 75% of the <u>street primary building</u> facade width		D
Clear height above sidewalk (min)	9'	E

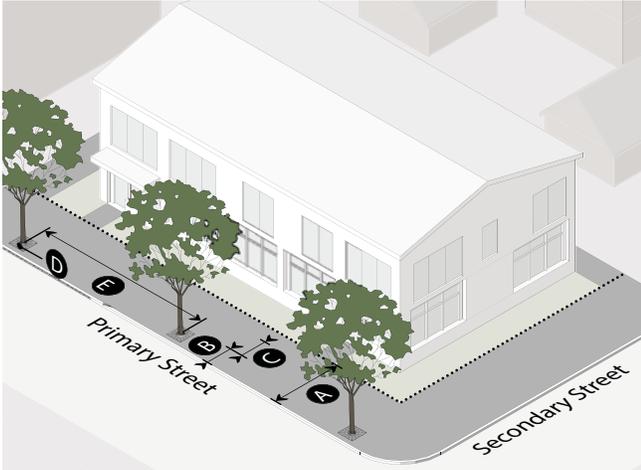
The furnishing/planting area shall be hardscape other than slab concrete (e.g. pavers, bricks)

The building transition area shall be hardscape



Covered Walkway

2. Trees in Grates



Description

Trees in grates provide a moderate amount of landscaping to screen buildings and provide shade, while remaining easy to maintain.

Pedestrian Frontage Dimensions

Total width from back of curb (min)	13.5'-15'	A
Furnishing/planting area (min)	5'-6'	B
Clear sidewalk width (min)	6'-9'	C

Additional Specifications

Planting type	Tree grate	D
Tree spacing (on center)	30' to 40'	E

The furnishing/planting area that is not tree grates shall be hardscape other than slab concrete (e.g. pavers, bricks)



Trees in Grates

3. Trees in Lawn



Description

Trees in lawn provide a continuous landscape buffer that separates pedestrians from traffic with planted trees that also screen buildings and provide shade.

Pedestrian Frontage Dimensions

Total width from back of curb (min)	13.5'-15'	A
Furnishing/planting area (min)	5'-6'	B
Clear sidewalk width (min)	6'	C

Additional Specifications

Planting type	Tree lawn	D
Tree spacing (on center)	30' to 40'	E



Trees in Lawn

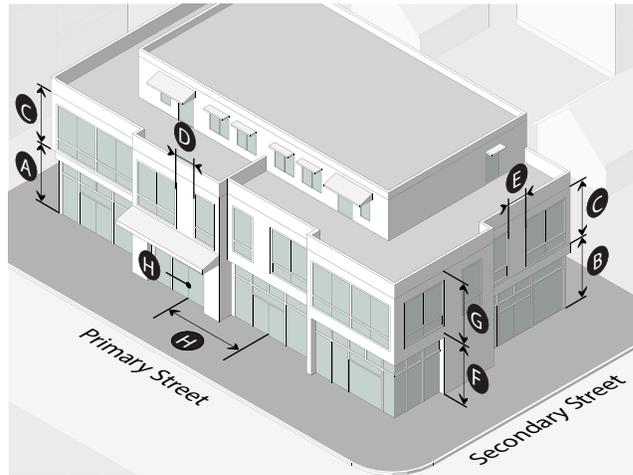
D. Building Frontages

Building frontages set standards for building facades that face streets and are required along all primary and secondary streets. Building frontages help to ensure that buildings address each street appropriately. They play an important role in shaping the built environment and enhancing the pedestrian experience. Specific rules for each building frontage are listed below. See Sec. 2.2.2 through Sec. 2.2.6 to determine which options are allowed in each zone. The rules of measurement for a building frontage are in Sec. 9.4.

Any use allowed in the applicable zoning district is allowed in any building frontage type, provided the use meets all other zoning and building code requirements. The applicant may use multiple building frontages along the same street frontage, provided that each frontage type is allowed in the applicable zoning district.

Institutional and transportation/Infrastructure uses may be allowed to comply with the building frontages on an 'as practicable' basis with Planning Director approval.

1. Shopfront

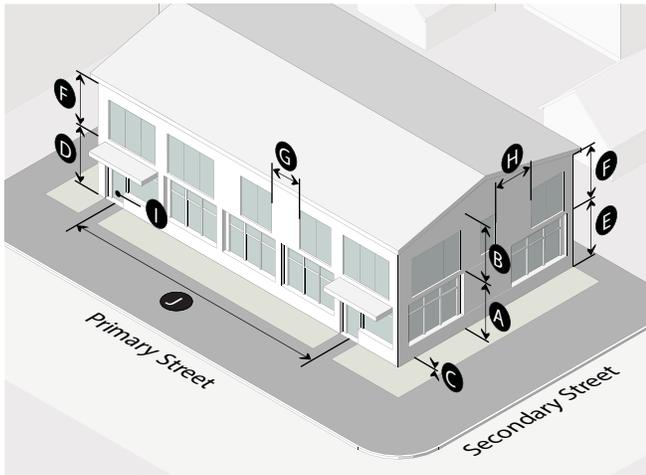


Description

In the Shopfront Frontage, the main facade of the building is located at or near the public sidewalk, often with at-grade entrances spaced at regular intervals. The Shopfront Frontage is intended primarily for retail uses, and has substantial glazing (windows and doors) at the sidewalk level.

Story Height		Sec. 9.4.13
Ground story height (min)	12'	A
Upper story height (min)	9'	B
Ground floor elevation (min-max)	0' - 2'	C
Transparency		Sec. 9.4.14
Ground story, primary street (min)	60%	D
Ground story, secondary street (min)	30%	E
Upper story, primary/secondary street (min)	20%	F
Blank Wall Area		Sec. 9.4.15
Blank wall area, primary street (max)	15'	G
Blank wall area, secondary street (max)	30'	H
Pedestrian Access		Sec. 9.4.16
Entrance facing primary street (max)	Required	I
Entrance spacing along primary street (max)	50'	J

2. Office



Description

In the Office Frontage, the main facade of the building is set back from the sidewalk with a street-facing entrance. The Office Frontage is intended primarily for employment, and secondary residential uses, and has moderate glazing (windows and doors) at the sidewalk level.

Story Height		Sec. 9.4.13
Ground story height (min)	10'	A
Upper story height (min)	9'	B
Ground floor elevation (min-max)	0' - 2'	C
Transparency		Sec. 9.4.14
Ground story, primary street (min)	40%	D
Ground story, secondary street (min)	20%	E
Upper story, primary/secondary street (min)	20%	F
Blank Wall Area		Sec. 9.4.15
Blank wall area, primary street (max)	25'	G
Blank wall area, secondary street (max)	40'	H
Pedestrian Access		Sec. 9.4.16
Entrance facing primary street	Required	I
Entrance spacing along primary street (max)	100'	J

3. Residential

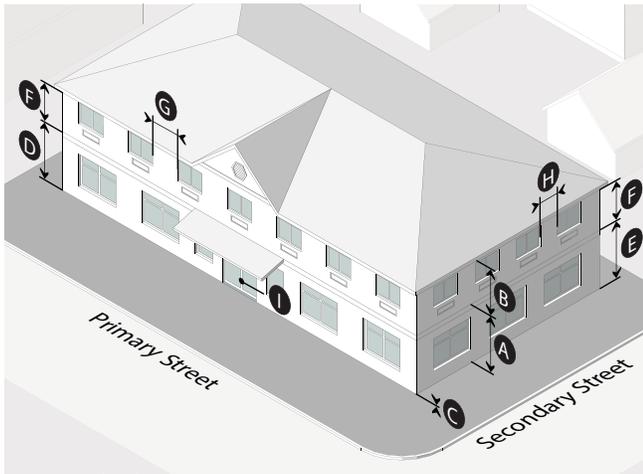


Description

In the Residential Frontage, the main facade of the building is set back from the sidewalk to protect privacy, with a street-facing entrance or series of entrances. The Residential Frontage is intended primarily for residential uses, and has limited glazing (windows and doors) at the sidewalk level.

Story Height		Sec. 9.4.13
Ground story height (min)	9'	A
Upper story height (min)	9'	B
Ground floor elevation (min-max)	0' - 5'	C
Transparency		Sec. 9.4.14
Ground story, primary street (min)	20%	D
Ground story, secondary street (min)	20%	E
Upper story, primary/secondary street (min)	20%	F
Blank Wall Area		Sec. 9.4.15
Blank wall area, primary street (max)	35'	G
Blank wall area, secondary street (max)	50'	H
Pedestrian Access		Sec. 9.4.16
Entrance facing primary street	Required for each ground floor unit	I
Entrance spacing along primary street (max)	n/a	

4. Lodging



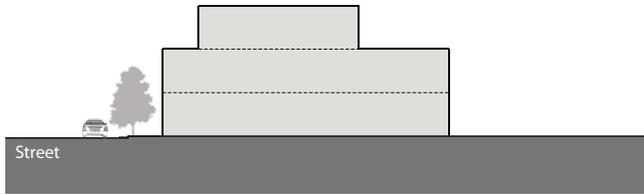
Description

In the Lodging Frontage, the main facade of the building is either set back or pulled up to the sidewalk with a street-facing entrance or series of entrances. The Lodging Frontage is intended primarily for lodging uses, and has a variety of glazing (windows and doors) at the sidewalk level.

Story Height		Sec. 9.4.13
Ground story height (min)	12'	A
Upper story height (min)	7' 6"	B
Ground floor elevation (min-max)	0' - 5'	C
Transparency		Sec. 9.4.14
Ground story, primary street (min)	40%	D
Ground story, secondary street (min)	20%	E
Upper story, primary/secondary street (min)	20%	F
Blank Wall Area		Sec. 9.4.15
Blank wall area, primary street (max)	35'	G
Blank wall area, secondary street (max)	50'	H
Pedestrian Access		Sec. 9.4.16
Entrance facing primary street	Required	I
Entrance spacing along primary street (max)	n/a	

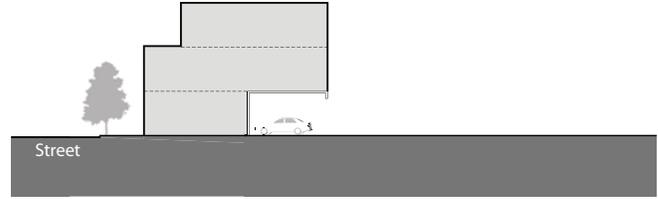
E. Parking Types

The location of parking is very important. Improper treatment can have a negative effect on walkability. A variety of parking type options are illustrated below. See Sec. 2.2.2 through Sec. 2.2.6 to determine which options are allowed in each zone.



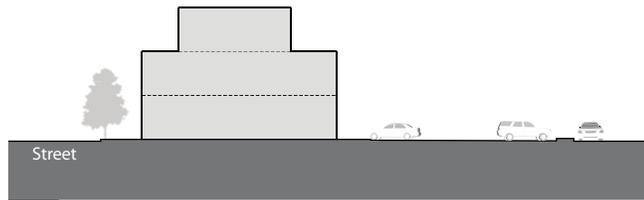
1. On-Street Parking

On-street parking provides off-site, at grade parking in the public right-of-way.



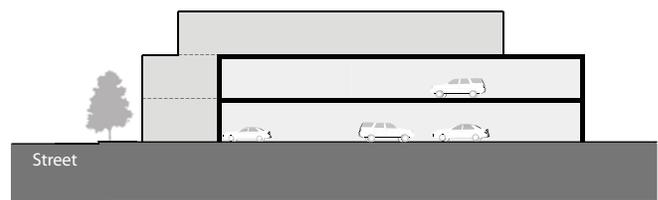
4. Tuck-Under Parking

Tuck-under parking provides at grade parking located beneath the upper-stories of a building. Tuck-under parking must be located to the rear of the building.



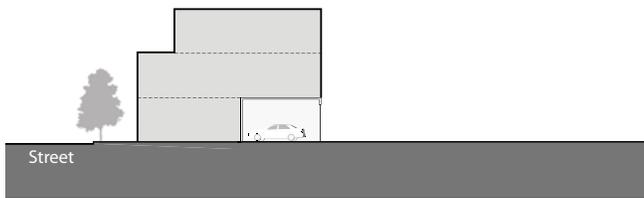
2. Surface Parking

Surface parking provides uncovered, at-grade parking. Surface parking must be located behind or to the side of buildings and must be screened from view from any street (except an alley).



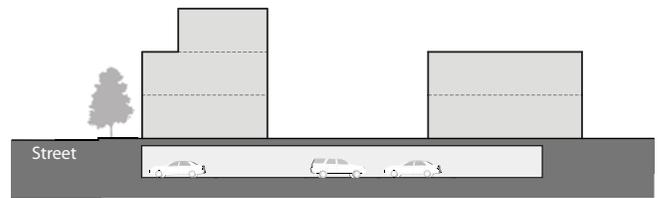
5. Structured Parking

Structured parking provides parking fully integrated within a building. Active street fronts must be provided to the extent practical.



3. Enclosed Parking

Enclosed parking provides at grade parking located beneath the upper-stories of a building. Parking must be fully enclosed and be screened by a building facade.



6. Underground Parking

Underground parking provides below grade parking.

2.2.2. DC: Downtown Core

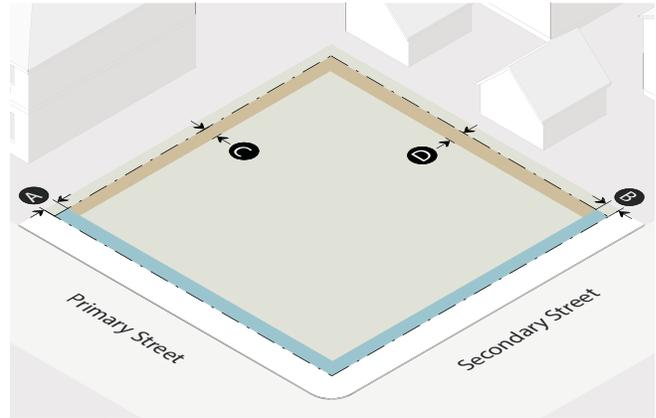
A. Intent

1. **General Intent.** The intent of the Downtown Core (DC) zone is to provide for a vibrant mixed-use area with a variety of uses and amenities, consisting of wide sidewalks and retail shopfronts pulled up to the street.
2. **Buildings.** Buildings can be up to 3 stories in height. Massing, articulation, openings, and step backs are used to reduce bulk and mass. Buildings are located close to the sidewalk, creating an attractive street edge. Large storefront windows invite and encourage pedestrian activity.
3. **Parking.** Parking is primarily provided off-site on public lots and on-street. Parking provided on-site is underground or screened from view by buildings.
4. **Land Use.** Active and engaging uses are encouraged on ground floors but not required, with offices, apartments, single-family attached, and lodging primarily located on upper stories.
5. **Comprehensive Plan.** Based primarily on sub area 2.3 of the Comprehensive Plan.

B. Physical Development

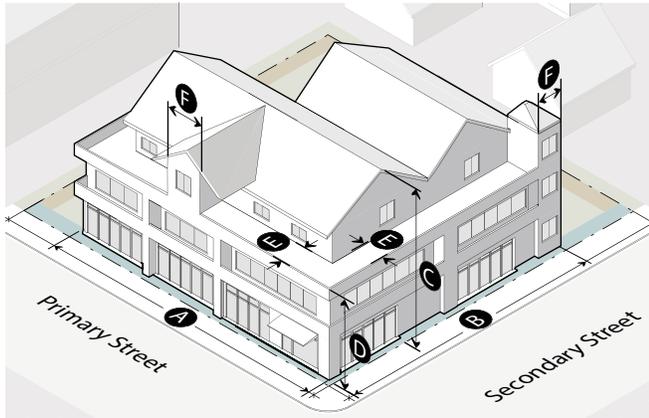
Standards applicable to physical development are provided in this Section. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



Building Setbacks	Sec. 9.4.8
Primary street setback range (min-max)	0' - 5' A
Secondary street setback range (min-max)	0' - 5' B
Side interior (min)	0' or 5' C
Rear (min)	0' or 5' D
Abutting protected zone (min)	10'
Landscaping	Div. 5.5
Landscape surface ratio (min)	n/a
Plant units (min)	n/a
Fencing	
Height in any street or side yard (max)	4'
Height in rear yard (max)	6'
Setback from pedestrian frontage-primary or side street lot line/R.O.W./sidewalk (min)	1'
Setback from side or rear lot line (min)	0'
Parking Setbacks	Sec. 9.4.8
Primary street, above ground parking (min)	30'
Secondary street, surface parking (min)	30'
Secondary street, tuck-under enclosed or structured parking screened by bldg- (min)	<u>0'-2'</u>
Access	
Curb cut width (max)	<u>24'-20'</u>

2. Bulk Standards



3. Form Standards



Street Facade		Sec. 9.4.11
Width of ground and 2nd story in primary street setback range		A
% of lot width (min)	80%	
Length from street corner (min)	30'	
Width of ground and 2nd story in secondary street setback range		B
% of lot width (min)	80%	
Length from street corner (min)	30'	
Building Height		Sec. 9.4.9
Height (max) if roof pitch \geq 5/12	46'	C
Height (max) if roof pitch $<$ 5/12	42'	C
Stories (max)	3	C
Stories <u>or Height</u> (min) in any street setback range	<u>2 or 24'</u>	D
Building Stepback		Sec. 9.4.12
Stepback for any 3rd story street facade <u>or street facade over 30'</u> (min)	10'	E
Encroachment in stepback (max % of <u>overall</u> facade width)	<u>60%-40%</u>	F
<u>A building with only residential use that has at least 4 units is exempt from the stepback requirement</u>		
Scale of Development		
Floor area ratio (FAR) (max)	1.3	
<u>Deed restricted housing exemption</u>	<u>Sec. 7.8.3</u>	
Workforce housing floor area bonus	<u>Sec. 7.8.4</u>	

Nonresidential Design Guidelines		Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.		
Pedestrian Frontage Options		
<u>Planning Director will establish one of the following as the pedestrian frontage</u>		
Covered walkway		see Sec. 2.2.1.C.1
Trees in grates		see Sec. 2.2.1.C.2
Building Frontage Options		
Shopfront		see Sec. 2.2.1.D.1
Residential		see Sec. 2.2.1.D.3
Lodging		see Sec. 2.2.1.D.4
Parking Type Options		
On-street parking		see Sec. 2.2.1.E.1
Surface parking		see Sec. 2.2.1.E.2
<u>Tuck-Under Parking</u>		<u>see Sec. 2.2.1.E.4</u>
Enclosed parking		see Sec. 2.2.1.E.3
Structured parking		see Sec. 2.2.1.E.5
Underground parking		see Sec. 2.2.1.E.6
<u>Remote parking</u>		<u>see Sec. 2.2.1.E.7</u>

4. Environmental Standards	
Natural Resource Setback (min)	Sec 5.1.1
<u>Cache Creek south of Cache Creek Dr.</u>	<u>20'</u>
Flat Creek north of Hansen Ave.	25'
Flat Creek south of Hansen Ave.	50'
Wetland	30'
Irrigation Ditch Setback (min)	
Irrigation Ditch	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	
Total cuff off angle (max)	90°
Illumination in footcandles	1.50
Height (max)	18'
Scenic Resource Overlay (SRO)	
	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	
	Sec. 5.4.2
Fault Area	
	Sec. 5.4.3
Floodplains	
	Sec. 5.4.4
Wildland Urban Interface	
	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6
Number of signs (max)	3 per business per frontage	
Background color	No white or yellow	
Sign Area		
Total sign area (max)	3 sf per linear ft of street facade width up to 150 sf	
Penalty	10% per projecting and freestanding sign	
Sign Type Standards		
Canopy sign		
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Freestanding sign		
Height (max)	6'	
Setback (min)	5'	
Projecting sign		
Height (max)	24' above grade	
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Window sign		
Window surface coverage (max)	25% up to 16 sf	
Temporary signs	Sec. 5.6.1	
8. Grading, Erosion Control, Stormwater		
Grading		
	Sec. 5.7.2	
Erosion Control		
	Sec. 5.7.3	
Erosion shall be controlled at all times		
Stormwater Management		
	Sec. 5.7.4	
No increase in peak flow rate or velocity across property lines		

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< <u>19,500-9,750</u> sf			X	X		Sec. 5.7.1	Sec. 5.4.4
<u>19,500 - 39,000</u> sf <u>9,750 - 29,250</u> sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> <u>39,000-29,250</u> sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
> <u>39,000 sf for only residential use</u>	<u>optional</u>	<u>X</u>	<u>X</u>	<u>X</u>		<u>Sec. 5.7.1</u>	<u>Sec. 5.4.4</u>
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) <u>(E.1)</u>	Employee Housing (min) (Div 6.3)
Residential Uses					
Attached Single-Family Unit (6.1.4.B)	B	<u>8,000 sf habitable excluding basement</u>	n/a	1/DU <u>for studio/1 bedroom < 500 sf;</u> <u>2/DU otherwise</u>	n/a
Apartment (6.1.4.D)	B	<u>8,000 sf habitable excluding basement</u>	n/a	<u>0.25</u> /bed	n/a
Dormitory (6.1.4.F)	C	n/a	n/a	0.5/bed	n/a
Group Home (6.1.4.G)	C	n/a	n/a	1.5/DU or 1.5/1,000 sf	n/a
<u>Live-Work Unit (6.1.4.H)</u>	<u>B</u>	<u>n/a</u>	<u>n/a</u>	<u>1.5/DU or 1.5/1,000 sf</u>	<u>n/a</u>
Lodging					
Conventional Lodging (6.1.5.B)	B (LO)	n/a	n/a	0.75/room	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C)	B (LO)	n/a	n/a	1/ <u>DU-room-for studio/1 bedroom < 500 sf;</u> <u>2/DU otherwise</u>	47 sf/1,000 sf
Commercial Uses					
Office (6.1.6.B)	B	<u>12,500 sf</u>	n/a	<u>1.65-3.3</u> /1,000 sf	14 sf/1,000 sf
Retail (6.1.6.C)	B	12,500 sf	n/a	<u>2.25-4.5</u> /1,000 sf	156 sf/1,000 sf
Service (6.1.6.D)	B	<u>excluding basement storage</u>	n/a	<u>1.5-3</u> /1,000 sf	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E)	B	<u>excluding basement storage</u>	n/a	1/ <u>110-55</u> sf dining area + 1/ <u>60-30</u> sf bar area	378 sf/1,000 sf
Amusement/Recreation					
Amusement (6.1.7.B)	<u>B-C</u>	n/a	n/a	1/ <u>60-30</u> sf seating area or independent calculation	independent calculation
Developed Recreation (6.1.7.D)	B	n/a	n/a	<u>2.25-4.5</u> /1,000 s	independent calculation
Outfitter/Tour Operator (6.1.7.E)	C	n/a	n/a	independent calculation	independent calculation
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education 6.1.8.C 6.1.8.C)	B	n/a	n/a	independent calculation	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) <u>(E.1)</u>	Employee Housing (min) (Div 6.3)
Transportation/Infrastructure					
<u>Parking (6.1.10.B)</u>	<u>C</u>	<u>n/a</u>	<u>n/a</u>	<u>n/a</u>	<u>independent calculation</u>
Utility Facility (6.1.10.C)	C	n/a	n/a	<u>0.5+</u> /employee + <u>0.5+</u> /stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)					
Minor	B	n/a	n/a	<u>0.5+</u> /employee + <u>0.5+</u> /stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	n/a
Family Home Daycare (6.1.11.F)	B	n/a	n/a	<u>0.5+</u> /employee + <u>0.5+</u> off-street pick-up/drop-off	exempt
Temporary Uses					
Christmas Tree Sales (6.1.12.B)	Y	n/a	n/a	<u>0.5+</u> /1,000 sf outdoor display area + <u>0.5+</u> /employee	exempt
<u>Temporary Shelter (6.1.12.D)</u>	<u>Y</u>	<u>n/a</u>	<u>n/a</u>	<u>2/DU</u>	<u>exempt</u>
Farm Stand (6.1.12. E)	B	n/a	n/a	<u>2.5-5</u> /1,000 sf display area	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
<u>Outdoor Storage</u>	<u>Prohibited</u>
<u>Freestanding storage units (trailers, sheds, "Bully Barns", tarpaulin structures, etc.) not made a permanent part of a structure</u>	<u>Prohibited</u>
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	<u>Required -> 4 DUs and all nonresidential</u>
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options								
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot Coverage (max)	Option Standards
Allowed Subdivision Options								
Land Division	n/a	5,000 sf	n/a	n/a	determined by physical development			Sec. 7.2.3
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4
2. Residential Subdivision Requirements								
Affordable Housing								Div. 7.4
Required Affordable Housing					1 affordable unit per 4 market units			
Schools and Parks Exaction								Div. 7.5
Schools exaction					.020 acres per 1- or 2-family unit .015 acres per multi-family unit			
Parks exaction					9 acres per 1,000 resident			
3. Infrastructure								
Transportation Facilities								Div. 7.6
Access								required
Right-of-way for Minor Local Road (min)								60'
Paved travel way for Minor Local Road (min)								20'
Required Utilities								Div. 7.7
Water								public
Sewer								public
4. Required Subdivision and Development Option Permits								
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)			
Land Division								
≤ 10 Lots				X				X
> 10 Lots		X		X				X
Condominium/Townhouse								X

E. Additional Zone-Specific Standards

1. Provision of Nonresidential, Nonlodging Parking

- a. ~~Applicability. The following options for providing required parking shall apply to allowed uses except:~~
 - i. ~~Residential Uses (Sec. 6.1.4.);~~
 - ii. ~~Lodging Uses (Sec. 6.1.5.); and~~
 - iii. ~~Accessory Residential Unit (6.1.11.B).~~
- b. ~~Shared Parking Reduction. A 50% parking reduction is allowed from the ratio specified in Sec. 2-2-3.C.2 for all allowed nonresidential land uses (not including lodging):~~
- c. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable. ~~The credits include previous fee-in-lieu payments for parking, if any. Parking credits shall not be used for lodging or residential uses, except that previously paid fee-in-lieu credits may be applied to such uses.~~
- d. **On-street Parking.** Required parking may be provided on-street provided the following standards are met.
 - i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

Uninterrupted Curb per On-street Parking Space	
Parking Space Angle	Uninterrupted Curb
Parallel	22'
45°/60°	18'
90°	9'

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.
- iii. The on-street parking shall follow the established configuration of existing on-street parking, ~~except that angled parking may be allowed where permitted by Town and WYDOT standards.~~
- iv. On-street parking spaces ~~credited for a use shall not be used exclusively by that use, but~~ shall be available for general public use at all times. No signs or actions limiting general public use ~~or time~~ of on-street spaces shall be permitted.
- e. **Fee-In-Lieu.** Required parking may be provided off-site through the Town's in-lieu fee program pursuant to the following standards.

- i. **Fee.** The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with the parking fee schedule set forth by Resolution ~~and in accordance with the standards of this section.~~
 - ii. **Assignment of Credits.** Parking credits purchased by fee-in-lieu run with the land and are not transferable. ~~All credits are calculated and applied in the aggregate, and are not applied on a use-by-use basis.~~
 - iii. **Banking of Fee-in-Lieu Spaces.** Fee-in-lieu spaces may be purchased in advance and “banked” for future use.
2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
3. ~~**Nonconforming Detached Single-Family Units.** Existing detached single-family units are considered nonconforming but shall not be subject to the 20% floor-area expansion limit and will be permitted to develop to the full FAR allowed in the zone. Existing detached single-family units are subject to all other applicable development standards of this Article.~~

2.2.3. CR-1: Commercial Residential-1

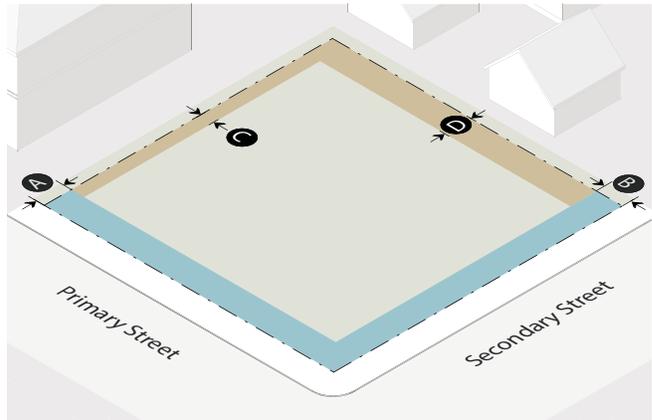
A. Intent

1. **General Intent.** The intent of the Commercial Residential-1 (CR-1) zone is to provide for mixed-use development consisting primarily of offices, retail and residential development. Lodging uses are allowed within the Lodging Overlay. This zone will often be located on secondary corridors and may serve as a transition zone between higher intensity commercial areas and residential neighborhoods.
2. **Buildings.** Buildings can be up to 3 stories in height. Buildings are pulled up to the street, awnings, galleries, porches, stoops, and windows and doors work in concert to provide an attractive pedestrian environment that complements and serves the surrounding neighborhood.
3. **Parking.** Parking is primarily provided on-site, to the rear or side of buildings and screened from view.
4. **Land Use.** Ground-level uses add vitality and street life at a scale consistent with neighboring residential structures and uses. Upper floors primarily accommodate residential, office and lodging uses, but these uses are allowed on the ground floor as well.
5. **Comprehensive Plan.** Based primarily on sub area 2.2 of the Comprehensive Plan.

B. Physical Development

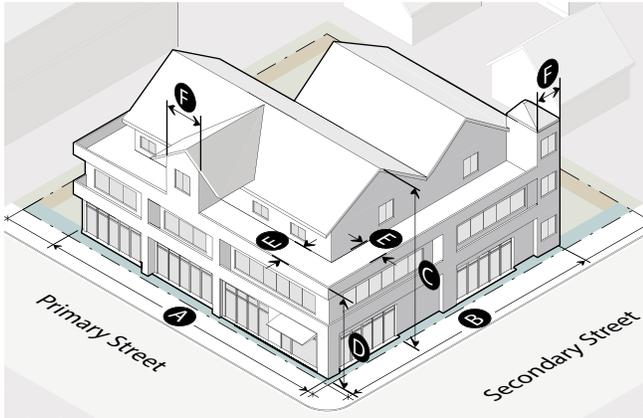
Standards applicable to physical development are provided on the following pages. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



Building Setbacks	Sec. 9.4.8
Primary street setback range (min-max)	0' - 5' - 5' - 10' A
Secondary street setback range (min-max)	0' - 5' - 5' - 10' B
Side interior (min)	0' <u>or</u> 5' C
Rear (min)	10' D
Abutting protected zone (min)	10'
Landscaping	Div. 5.5
Landscape surface ratio (min)	10%
Plant Units	
All uses	1/1,000 sf of landscape area
Parking lot (all uses)	1/12 parking spaces
Fencing	
Height in any street or side yard (max)	4'
Height in rear yard (max)	6'
Setback from pedestrian frontage primary or side street lot line/R.O.W./sidewalk (min)	1'
Setback from side or rear lot line (min)	0'
Parking Setbacks	Sec. 9.4.8
Primary street, <u>above ground parking</u> (min)	30'
Secondary street, surface parking (min)	30'
Secondary street, <u>tuck-under, enclosed, or structured parking screened by bldg-</u> (min)	0' - 2'
Access	
Curb cut width (max)	24' - 20'

2. Bulk Standards



Street Facade	Sec. 9.4.11	
Width of ground and 2nd story in primary street setback range		A
% of lot width (min)	80%	
Length from street corner (min)	30'	
Width of ground and 2nd story in secondary street setback range		B
% of lot width (min)	40%	
Length from street corner (min)	30'	
Building Height	Sec. 9.4.9	
Height (max) if roof pitch \geq 5/12	46'	C
Height (max) if roof pitch $<$ 5/12	42'	C
Stories (max)	3	C
Stories <u>or Height</u> (min) in any street setback range	<u>2 or 24'</u>	D
Building Stepback	Sec. 9.4.12	
Stepback for any 3rd story street facade <u>or street facade over 30'</u> (min)	10'	E
Encroachment in stepback (max % of <u>overall</u> facade width)	<u>60%-40%</u>	F
<u>A building with only residential use that has at least 4 units is exempt from the stepback requirement</u>		
Scale of Development		
Floor area ratio (FAR max)	<u>0.65</u>	
<u>Additional FAR for lodging use</u>	<u>0.15-0.80</u>	
All other uses	0.65	
<u>Deed restricted housing exemption</u>	<u>Sec. 7.8.3</u>	
Workforce housing floor area bonus	<u>Sec. 7.8.4</u>	

3. Form Standards



Nonresidential Design Guidelines	Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.	
Pedestrian Frontage Options	
Trees in grates	see Sec. 2.2.1.C.2
Trees in lawn	see Sec. 2.2.1.C.3
Building Frontage Options	
Shopfront	See Sec. 2.2.1.D.1
Office	see Sec. 2.2.1.D.2
Residential	see Sec. 2.2.1.D.3
Lodging	see Sec. 2.2.1.D.4
Parking Type Options	
On-street parking	see Sec. 2.2.1.E.1
Surface parking	see Sec. 2.2.1.E.2
Enclosed parking	see Sec. 2.2.1.E.3
Tuck-Under Parking	see Sec. 2.2.1.E.4
Structured parking	see Sec. 2.2.1.E.5
Underground parking	see Sec. 2.2.1.E.6
Remote parking	see Sec. 2.2.1.E.7

4. Environmental Standards	
Natural Resource Setback (min)	Sec 5.1.1
<u>Cache Creek south of Cache Creek Dr.</u>	<u>20'</u>
Flat Creek north of Hansen Ave.	25'
Flat Creek south of Hansen Ave.	50'
Wetland	30'
Irrigation Ditch Setback (min)	
Irrigation Ditch	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	
Total cuff off angle (max)	90°
Illumination in footcandles	1.50
Height (max)	18'
Scenic Resource Overlay (SRO)	
SRO	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	
Areas of Unstable Soils	Sec. 5.4.2
Fault Area	
Fault Area	Sec. 5.4.3
Floodplains	
Floodplains	Sec. 5.4.4
Wildland Urban Interface	
Wildland Urban Interface	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6
Number of signs (max)	3 per business per frontage	
Background color	No white or yellow	
Sign Area		
Total sign area (max)	3 sf per linear ft of street facade width up to 150 sf	
Penalty	10% per projecting and freestanding sign	
Sign Type Standards		
Canopy sign		
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Freestanding sign		
Height (max)	6'	
Setback (min)	5'	
Projecting sign		
Height (max)	24' above grade	
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Window sign		
Window surface coverage (max)	25% up to 16 sf	
Temporary signs	Sec. 5.6.1	
8. Grading, Erosion Control, Stormwater		
Grading		
Grading	Sec. 5.7.2	
Erosion Control		
Erosion Control	Sec. 5.7.3	
Erosion shall be controlled at all times		
Stormwater Management		
Stormwater Management	Sec. 5.7.4	
No increase in peak flow rate or velocity across property lines		

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 9,750-5,000 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
9,750 - 19,500-5,000--15,000 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 19,500-15,000 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 19,500 sf for only residential use	optional	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) <u>(E.1)</u>	Employee Housing (min) (Div 6.3)
Residential Uses					
Attached Single-Family Unit (6.1.4.B)	B	<u>8,000 sf habitable excluding basement</u>	n/a	1/DU <u>for studio/1 bedroom < 500 sf;</u> <u>2/DU otherwise</u>	n/a
Apartment (6.1.4.D)	B	<u>8,000 sf habitable excluding basement</u>	n/a	<u>0.25+ /bed</u>	n/a
Dormitory (6.1.4.F)	C	n/a	n/a	0.5/bed	n/a
Group Home (6.1.4.G)	<u>C-B</u>	n/a	n/a	<u>1.5 /DU or 1.5/1,000 sf</u>	<u>n/a</u>
<u>Live-Work Unit (6.1.4.H)</u>	<u>B</u>	<u>n/a</u>	<u>n/a</u>		
Lodging					
Conventional Lodging (6.1.5.B)	B (LO)	n/a	n/a	0.75/room	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C)	B (LO)	n/a	n/a	<u>1/DU-room for studio/1 bedroom < 500 sf;</u> <u>2/DU otherwise</u>	47 sf/1,000 sf
Commercial Uses					
Office (6.1.6.B)	B	<u>6,000 sf</u>	n/a	<u>2.47-3.3/1,000 sf</u>	14 sf/1,000 sf
Retail (6.1.6.C)	B	6,000 sf	n/a	<u>3.37-4.5/1,000 sf</u>	156 sf/1,000 sf
Service (6.1.6.D)	B	<u>excluding basement storage</u>	n/a	<u>2.25-3/1,000 sf</u>	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E)	B	<u>excluding basement storage</u>	n/a	<u>1/73-55 sf dining area + 1/40-30 sf bar area</u>	378 sf/1,000 sf
Amusement/Recreation					
Amusement (6.1.7.B)	B	n/a	n/a	<u>1/40-30 sf seating area or independent calculation</u>	independent calculation
Developed Recreation (6.1.7.D)	B	n/a	n/a	<u>3.37-4.5/1,000 sf</u>	independent calculation
Outfitter/Tour Operator (6.1.7.E)	B	n/a	n/a	independent calculation	independent calculation
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C)	B	n/a	n/a	independent calculation	exempt
Transportation/Infrastructure					

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) <u>(E.1)</u>	Employee Housing (min) (Div 6.3)
<u>Parking (6.1.10.B)</u>	<u>C</u>	<u>n/a</u>	<u>n/a</u>	<u>n/a</u>	<u>independent calculation</u>
Utility Facility (6.1.10.C)	C	n/a	n/a	<u>0.75+</u> /employee + <u>0.75+</u> /stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)					
Minor	B	n/a	n/a	<u>0.75+</u> /employee + <u>0.75+</u> /stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	exempt
<u>Family Home Daycare (6.1.11.F)</u>	<u>B</u>	<u>n/a</u>	<u>n/a</u>	<u>0.75/employee + 0.75 off-street pick-up/drop-off</u>	<u>exempt</u>
Temporary Uses					
Christmas Tree Sales (6.1.12.B)	Y	n/a	n/a	<u>0.75+</u> /1,000 sf outdoor display area + <u>0.75+</u> /employee	exempt
Farm Stand (6.1.12. E)	B	n/a	n/a	<u>3.75-5</u> /1,000 sf display area	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
<u>Outdoor Storage</u>	<u>Prohibited</u>
<u>Freestanding storage units (trailers, sheds, "Bully Barns", tarpaulin structures, etc.) not made a permanent part of a structure</u>	<u>Prohibited</u>
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options								
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot Coverage (max)	Option Standards
Allowed Subdivision Options								
Land Division	n/a	7,500 sf	n/a	n/a	determined by physical development			Sec. 7.2.3
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4
2. Residential Subdivision Requirements								
Affordable Housing								Div. 7.4
Required Affordable Housing					1 affordable unit per 4 market units			
Schools and Parks Exaction								Div. 7.5
Schools exaction					.020 acres per 1- or 2-family unit .015 acres per multi-family unit			
Parks exaction					9 acres per 1,000 resident			
3. Infrastructure								
Transportation Facilities								Div. 7.6
Access								required
Right-of-way for Minor Local Road (min)								60'
Paved travel way for Minor Local Road (min)								20'
Required Utilities								Div. 7.7
Water								public
Sewer								public
4. Required Subdivision and Development Option Permits								
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)			
Land Division								
≤ 10 Lots			X		X			
> 10 Lots		X	X		X			
Condominium/Townhouse								X

E. Additional Zone-Specific Standards

1. Provision of Nonresidential, Nonlodging Parking

- a. ~~Applicability. The following options for providing required parking shall apply to allowed uses except:~~
 - i. ~~Residential Uses (Sec. 6.1.4.);~~
 - ii. ~~Lodging Uses (Sec. 6.1.5.); and~~
 - iii. ~~Accessory Residential Unit (6.1.11.B).~~
- b. ~~Shared Parking Reduction. A 25% parking reduction is allowed from the ratio specified in Sec. 2.2.3.C.2 for all allowed nonresidential land uses (not including lodging):~~
- c. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable. ~~The credits include previous fee-in-lieu payments for parking, if any. Parking credits shall not be used for lodging or residential uses, except that previously paid fee-in-lieu credits may be applied to such uses.~~
- d. **On-street Parking.** Required parking may be provided on-street provided the following standards are met.
 - i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

Uninterrupted Curb per On-street Parking Space	
Parking Space Angle	Uninterrupted Curb
Parallel	22'
45°/60°	18'
90°	9'

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.
- iii. The on-street parking shall follow the established configuration of existing on-street parking, ~~except that angled parking may be allowed where permitted by Town and WYDOT standards.~~
- iv. On-street parking spaces ~~credited for a use shall not be used exclusively by that use, but~~ shall be available for general public use at all times. No signs or actions limiting general public use ~~or time~~ of on-street spaces shall be permitted.
- e. **Fee-In-Lieu.** Required parking may be provided off-site through the Town's in-lieu fee program pursuant to the following standards.

- i. **Fee.** The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with the parking fee schedule set forth by Resolution ~~and in accordance with the standards of this section.~~
 - ii. **Assignment of Credits.** Parking credits purchased by fee-in-lieu run with the land and are not transferable. ~~All credits are calculated and applied in the aggregate, and are not applied on a use-by-use basis.~~
 - iii. **Banking of Fee-in-Lieu Spaces.** Fee-in-lieu spaces may be purchased in advance and “banked” for future use.
2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
3. ~~**LSR Surfaces.** The Planning Director may substitute ground-floor hardscape or amenity space improvements to satisfy the LSR requirement if the development can incorporate one or more of the following design elements including, but not limited to:-~~
 - a. ~~Pervious or decorative pavers;~~
 - b. ~~Sidewalks;~~
 - c. ~~Boardwalks;~~
 - d. ~~Public art display areas;~~
 - e. ~~Publicly accessible amenity space; or~~
 - f. ~~Pedestrian cut-throughs.~~
4. ~~**Nonconforming Detached Single-Family Units.** Existing detached single-family units are considered nonconforming but shall not be subject to the 20% floor area expansion limit and will be permitted to develop to the full FAR allowed in the zone. Existing detached single-family units are subject to all other applicable development standards of this Article.~~

2.2.4. CR-2: Commercial Residential-2

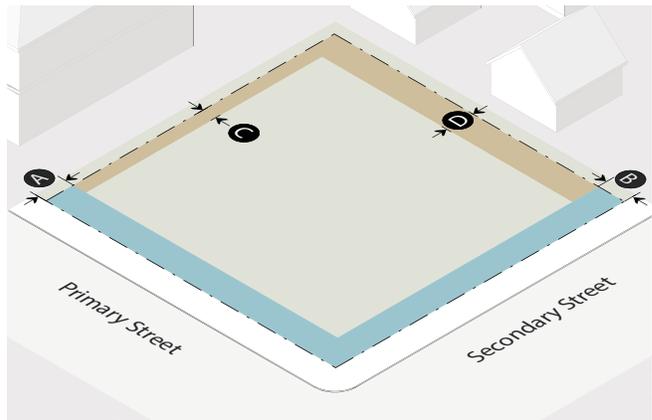
A. Intent

1. **General Intent.** The intent of the Commercial Residential-2 (CR-2) zone is to provide for a vibrant mixed-use zone consisting primarily of retail, office, lodging and residential uses. This zone will often be located on the periphery of the core of Downtown and helps to serve as a transition to lower density residential areas.
2. **Buildings.** Buildings can be up to 3 stories in height. Massing, articulation, openings, and step backs are used to reduce bulk and mass. Front setbacks are varied, with some buildings pulled up to the street and others set back with landscaping in front, creating an attractive and green street edge.
3. **Parking.** Parking is primarily provided on-site, to the rear or side of buildings and screened from view.
4. **Land Use.** Active uses, such as retail and service, are encouraged on the ground level, often with lodging, residential, or office on the upper floors. Buildings of all residential uses are encouraged.
5. **Comprehensive Plan.** Based primarily on sub areas 2.3 and 2.5 of the Comprehensive Plan.

B. Physical Development

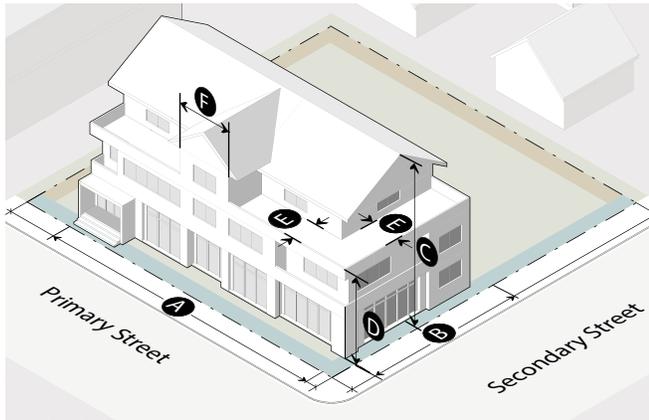
Standards applicable to physical development are provided on the following pages. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



Building Setbacks	Sec. 9.4.8	
Primary street setback range (min-max)	0' - 10'	A
Secondary street setback range (min-max)	0' - 10'	B
Side interior (min)	5'	C
Rear (min)	10'	D
Abutting protected zone (min)	10'	
Landscaping	Div. 5.5	
Landscape surface ratio (min)	10%	
Plant Units		
All uses	1/1,000 sf of landscape area	
Parking lot (all uses)	1/12 parking spaces	
Fencing		
Height in any street or side yard (max)	4'	
Height in rear yard (max)	6'	
Setback from pedestrian frontage primary or side street lot line/R.O.W./sidewalk (min)	1'	
Setback from side or rear lot line (min)	0'	
Parking Setbacks	Sec. 9.4.8	
Primary street, above ground parking (min)	30'	
Secondary street, surface parking (min)	30'	
Secondary street, tuck-under, enclosed, or structured parking screened by bldg. (min)	0'-2'	
Access		
Curb cut width (max)	24'-20'	

2. Bulk Standards



Street Facade		Sec. 9.4.11
Width of ground and 2nd story in primary street setback range		A
% of lot width (min)	70%	
Length from street corner (min)	30'	
Width of ground and 2nd story in secondary street setback range		B
% of lot width (min)	35%	
Length from street corner (min)	30'	
Building Height		Sec. 9.4.9
Height (max) if roof pitch ≥ 5/12	46'	C
Height (max) if roof pitch < 5/12	42'	C
Stories (max)	3	C
Stories <u>or Height</u> (min) in any street setback range	<u>2 or 24'</u>	D
Building Stepback		Sec. 9.4.12
Stepback for any 3rd story street facade <u>or street facade over 30'</u> (min)	10'	E
Encroachment in stepback (max % of <u>overall</u> facade width)	<u>60%-40%</u>	F
<u>A building with only residential use that has at least 4 units is exempt from the stepback requirement</u>		
Scale of Development		
Floor area ratio (FAR max)	<u>0.46</u>	
<u>Additional FAR for</u> lodging use	<u>0.34-0.80</u>	
All other uses-	0.46	
<u>Deed restricted housing exemption</u>	<u>Sec. 7.8.3</u>	
Workforce housing floor area bonus	<u>Sec. 7.8.4</u>	

3. Form Standards



Nonresidential Design Guidelines Sec. 5.8

These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.

Pedestrian Frontage Options

Trees in grates	see Sec. 2.2.1.C.2
Trees in lawn	see Sec. 2.2.1.C.3

Building Frontage Options

Shopfront	see Sec. 2.2.1.D.1
Office	see Sec. 2.2.1.D.2
Residential	see Sec. 2.2.1.D.3
Lodging	see Sec. 2.2.1.D.4

Parking Type Options

On-street parking	see Sec. 2.2.1.E.1
Surface parking	see Sec. 2.2.1.E.2
Enclosed parking	see Sec. 2.2.1.E.3
Tuck-Under Parking	see Sec. 2.2.1.E.4
Structured parking	see Sec. 2.2.1.E.5
Underground parking	see Sec. 2.2.1.E.6
Remote parking	see Sec. 2.2.1.E.7

4. Environmental Standards	
Natural Resource Setback (min)	Sec 5.1.1
<u>Cache Creek south of Cache Creek Dr.</u>	<u>20'</u>
Flat Creek north of Hansen Ave.	25'
Flat Creek south of Hansen Ave.	50'
Wetland	30'
Irrigation Ditch Setback (min)	
Irrigation Ditch	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	
Total cuff off angle (max)	90°
Illumination in footcandles	1.50
Height (max)	18'
Scenic Resource Overlay (SRO)	
SRO	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	
Unstable Soils	Sec. 5.4.2
Fault Area	
Fault Area	Sec. 5.4.3
Floodplains	
Floodplains	Sec. 5.4.4
Wildland Urban Interface	
Wildland Urban Interface	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6
Number of signs (max)	3 per business per frontage	
Background color	No white or yellow	
Sign Area		
Total sign area (max)	3 sf per linear ft of street facade width up to 150 sf	
Penalty	10% per projecting and freestanding sign	
Sign Type Standards		
Canopy sign		
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Freestanding sign		
Height (max)	6'	
Setback (min)	5'	
Projecting sign		
Height (max)	24' above grade	
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Window sign		
Window surface coverage (max)	25% up to 16 sf	
Temporary signs	Sec. 5.6.1	
8. Grading, Erosion Control, Stormwater		
Grading		
Grading	Sec. 5.7.2	
Erosion Control		
Erosion Control	Sec. 5.7.3	
Erosion shall be controlled at all times		
Stormwater Management		
Stormwater Management	Sec. 5.7.4	
No increase in peak flow rate or velocity across property lines		

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 6,900-6,000 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
6,900 - 13,800-6,000 18,000 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 13,800-18,000 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 13,800 sf for only residential use	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) <u>(E.1)</u>	Employee Housing (min) (Div 6.3)
Residential Uses					
Attached Single-Family Unit (6.1.4.B)	B	<u>8,000 sf habitable excluding basement</u>	n/a	1/DU <u>for studio/1 bedroom < 500 sf; 2/DU otherwise</u>	n/a
Apartment (6.1.4.D)	B	<u>8,000 sf habitable excluding basement</u>	n/a	<u>0.25+ /bed</u>	n/a
Dormitory (6.1.4.F)	C	n/a	n/a	0.5/bed	n/a
Group Home (6.1.4.G)	<u>C-B</u>	n/a	n/a	0.5/bed	n/a
Live-Work Unit (6.1.4.H)	B	<u>750 sf min. 2,000 sf max habitable</u>	n/a	1.5 /DU or 1.5/1,000 sf	n/a
Lodging					
Conventional Lodging (6.1.5.B)	B (LO)	n/a	n/a	0.75/room	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C)	B (LO)	n/a	n/a	<u>1/DU-room for studio/1 bedroom < 500 sf; 2/DU otherwise</u>	47 sf/1,000 sf
Commercial Uses					
Office (6.1.6.B)	B	<u>6,000 sf</u>	n/a	<u>2.47-3.3/1,000 sf</u>	14 sf/1,000 sf
Retail (6.1.6.C)	B	6,000 sf	n/a	<u>3.37-4.5/1,000 sf</u>	156 sf/1,000 sf
Service (6.1.6.D)	B	<u>excluding basement storage</u>	n/a	<u>2.25-3/1,000 sf</u>	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E)	B	<u>excluding basement storage</u>	n/a	<u>1/73-55 sf dining area + 1/40-30 sf bar area</u>	378 sf/1,000 sf
Amusement/Recreation					
Amusement (6.1.7.B)	B	n/a	n/a	<u>1/40-30 sf seating area or independent calculation</u>	independent calculation
Developed Recreation (6.1.7.D)	B	n/a	n/a	<u>3.37-4.5/1,000 sf</u>	independent calculation
Outfitter/Tour Operator (6.1.7.E)	B	n/a	n/a	independent calculation	independent calculation
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C)	B	n/a	n/a	independent calculation	exempt
Transportation/Infrastructure					

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) <u>(E.1)</u>	Employee Housing (min) (Div 6.3)
<u>Parking (6.1.10.B)</u>	<u>C</u>	<u>n/a</u>	<u>n/a</u>	<u>n/a</u>	<u>independent calculation</u>
Utility Facility (6.1.10.C)	C	n/a	n/a	<u>0.75-1/employee + 0.75-1/stored vehicle</u>	independent calculation
Wireless Communications Facilities (6.1.10.D)					
Minor	B	n/a	n/a	<u>0.75-1/employee + 0.75-1/stored vehicle</u>	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	exempt
<u>Family Home Daycare (6.1.11.F)</u>	<u>B</u>	<u>n/a</u>	<u>n/a</u>	<u>0.75/employee + 0.75 off-street pick-up/drop-off</u>	<u>exempt</u>
Temporary Uses					
Christmas Tree Sales (6.1.12.B)	Y	n/a	n/a	<u>0.75-1/1,000 sf outdoor display area + 0.75-1/employee</u>	exempt
Farm Stand (6.1.12. E)	B	n/a	n/a	<u>3.75-5/1,000 sf display area</u>	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
<u>Outdoor Storage</u>	<u>Prohibited</u>
<u>Freestanding storage units (trailers, sheds, "Bully Barns", tarpaulin structures, etc.) not made a permanent part of a structure</u>	<u>Prohibited</u>
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options									
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot-Coverage (max)	Option Standards	
Allowed Subdivision Options									
Land Division	n/a	7,500 sf	n/a	n/a	determined by physical development			Sec. 7.2.3	
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4	
2. Residential Subdivision Requirements									
Affordable Housing								Div. 7.4	
Required Affordable Housing					1 affordable unit per 4 market units				
Schools and Parks Exaction								Div. 7.5	
Schools exaction					.020 acres per 1- or 2-family unit .015 acres per multi-family unit				
Parks exaction					9 acres per 1,000 resident				
3. Infrastructure									
Transportation Facilities								Div. 7.6	
Access								required	
Right-of-way for Minor Local Road (min)								60'	
Paved travel way for Minor Local Road (min)								20'	
Required Utilities								Div. 7.7	
Water								public	
Sewer								public	
4. Required Subdivision and Development Option Permits									
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)				
Land Division									
≤ 10 Lots			X		X				
> 10 Lots		X	X		X				
Condominium/Townhouse								X	

E. Additional Zone-Specific Standards

1. Provision of Nonresidential, Nonlodging Parking

- a. ~~Applicability. The following options for providing required parking shall apply to allowed uses except:~~
 - i. ~~Residential Uses (Sec. 6.1.4.);~~
 - ii. ~~Lodging Uses (Sec. 6.1.5.); and~~
 - iii. ~~Accessory Residential Unit (6.1.11.B).~~
- b. ~~Shared Parking Reduction. A 25% parking reduction is allowed from the ratio specified in Sec. 2-2-3.C.2 for all allowed nonresidential land uses (not including lodging):~~
- c. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable. ~~The credits include previous fee-in-lieu payments for parking, if any. Parking credits shall not be used for lodging or residential uses, except that previously paid fee-in-lieu credits may be applied to such uses.~~
- d. **On-street Parking.** Required parking may be provided on-street provided the following standards are met.

- i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

Uninterrupted Curb per On-street Parking Space	
Parking Space Angle	Uninterrupted Curb
Parallel	22'
45°/60°	18'
90°	9'

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.
- iii. The on-street parking shall follow the established configuration of existing on-street parking, ~~except that angled parking may be allowed where permitted by Town and WYDOT standards.~~
- iv. On-street parking spaces ~~credited for a use shall not be used exclusively by that use, but~~ shall be available for general public use at all times. No signs or actions limiting general public use ~~or time~~ of on-street spaces shall be permitted.
- e. **Fee-In-Lieu.** Required parking may be provided off-site through the Town's in-lieu fee program pursuant to the following standards.

- i. **Fee.** The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with the parking fee schedule set forth by Resolution ~~and in accordance with the standards of this section.~~
 - ii. **Assignment of Credits.** Parking credits purchased by fee-in-lieu run with the land and are not transferable. ~~All credits are calculated and applied in the aggregate, and are not applied on a use-by-use basis.~~
 - iii. **Banking of Fee-in-Lieu Spaces.** Fee-in-lieu spaces may be purchased in advance and “banked” for future use.
2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
3. **LSR Surfaces.** ~~The Planning Director may substitute ground-floor hardscape or amenity space improvements to satisfy the LSR requirement if the development can incorporate one or more of the following design elements including, but not limited to:-~~
 - a. ~~Pervious or decorative pavers;-~~
 - b. ~~Sidewalks;-~~
 - c. ~~Boardwalks;-~~
 - d. ~~Public art display areas;-~~
 - e. ~~Publicly accessible amenity space;-~~ or
 - f. ~~Pedestrian cut-throughs;-~~
4. **Nonconforming Detached Single-Family Units.** ~~Existing detached single-family units are considered nonconforming but shall not be subject to the 20% floor-area expansion limit and will be permitted to develop to the full FAR allowed in the zone. Existing detached single-family units are subject to all other applicable development standards of this Article.~~

2.2.5. OR: Office Residential

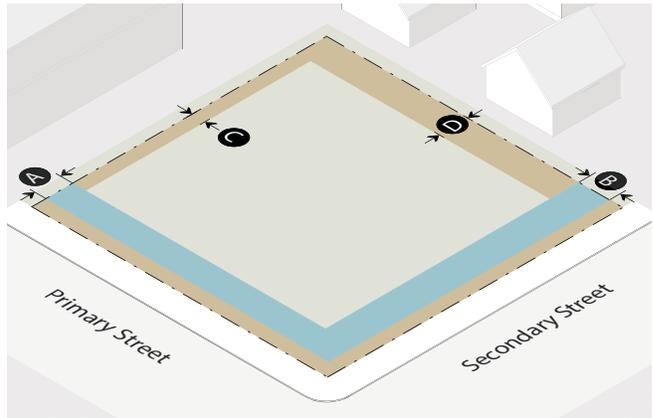
A. Intent

1. **General Intent.** The intent of the Office Residential (OR) zone is to provide for employment with a mix of higher intensity housing options. Limited neighborhood-serving retail at key nodes is allowed to serve surrounding residential neighborhoods.
2. **Buildings.** Buildings can be up to 2 stories in height. Massing and articulation is used to enhance residential character and reduce bulk and mass. Buildings are set back with landscaping in front, creating an attractive and green street edge.
3. **Parking.** Parking is primarily provided on-site, to the rear or side of buildings, and screened from view.
4. **Land Use.** Office, residential, and neighborhood serving retail are located at ground level with office or residential above and behind. Institutional uses serve as anchors to the local economy that provide jobs and services to the community.
5. **Comprehensive Plan.** Based primarily on sub area 2.6 of the Comprehensive Plan.

B. Physical Development

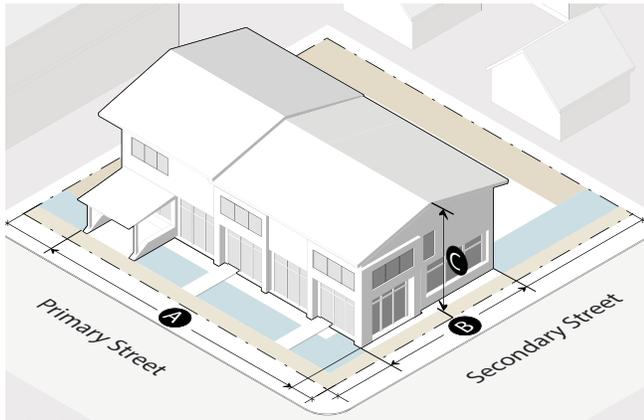
Standards applicable to physical development are provided on the following pages. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



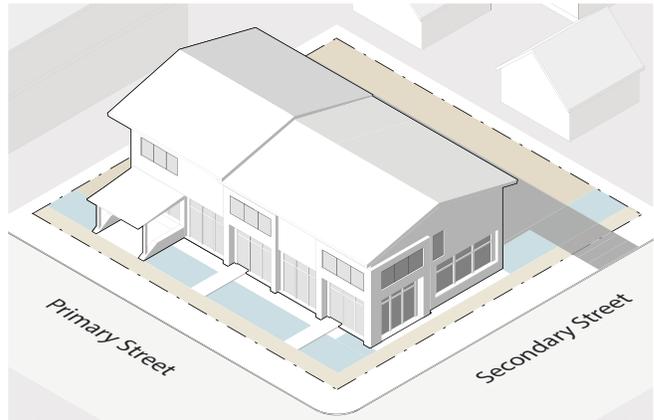
Building Setbacks	Sec. 9.4.8	
Primary street setback range (min-max)	5' - 15'	Ⓐ
Secondary street setback range (min-max)	5' - 15'	Ⓑ
Side interior (min)	5'	Ⓒ
Rear (min)	10'	Ⓓ
Abutting protected zone (min)	10'	
Landscaping	Div. 5.5	
Landscape surface ratio (min)	20%	
Plant Units		
All uses	1/1,000 sf of landscape area	
Parking lot (all uses)	1/12 parking spaces	
Fencing		
Height in any street or side yard (max)	4'	
Height in rear yard (max)	6'	
Setback from pedestrian frontage primary or side street lot line/R.O.W./sidewalk (min)	1'	
Setback from side or rear lot line (min)	0'	
Parking Setbacks	Sec. 9.4.8	
Primary street, above ground parking (min)	30'	
Secondary street, surface parking (min)	10'	
Secondary street, tuck-under, enclosed, or structured parking-screened by bldg. (min)	5'-2'	
Access		
Curb cut width (max)	24'-20'	

2. Bulk Standards



Street Facade	Sec. 9.4.11	
Width of ground and 2nd story in primary street setback range		A
% of lot width (min)	70%	
Length from street corner (min)	30'	
Width of ground and 2nd story in secondary street setback range		B
% of lot width (min)	35%	
Length from street corner (min)	30'	
Building Height	Sec. 9.4.9	
Height (max)	30'	C
Stories (max)	2	C
Building Stepback	Sec. 9.4.12	
3rd-story stepback (min) for any street facade n/a	10'	E
Encroachment in stepback (max % of overall facade width)	40%	F
Scale of Development		
Floor area ratio (FAR max)	0.46	
<u>Deed restricted housing exemption</u>	<u>Sec. 7.8.3</u>	
Workforce housing floor area bonus	<u>Sec. 7.8.4</u>	

3. Form Standards



Nonresidential Design Guidelines	Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.	
Pedestrian Frontage Options	
Trees in grates	see Sec. 2.2.1.C.2
Trees in lawn	see Sec. 2.2.1.C.3
Building Frontage Options	
Office	see Sec. 2.2.1.D.2
Residential	see Sec. 2.2.1.D.3
Parking Type Options	
On-street parking	see Sec. 2.2.1.E.1
Surface parking	see Sec. 2.2.1.E.2
Enclosed parking	see Sec. 2.2.1.E.3
Tuck-Under Parking	see Sec. 2.2.1.E.4
Structured parking	see Sec. 2.2.1.E.5
Underground parking	see Sec. 2.2.1.E.6
Remote parking	see Sec. 2.2.1.E.7

4. Environmental Standards	
Natural Resource Setback (min)	Sec 5.1.1
<u>Cache Creek south of Cache Creek Dr.</u>	<u>20'</u>
Flat Creek north of Hansen Ave.	25'
Flat Creek south of Hansen Ave.	50'
Wetland	30'
Irrigation Ditch Setback (min)	
Irrigation Ditch	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	
Total cuff off angle (max)	90°
Illumination in footcandles	1.50
Height (max)	18'
Scenic Resource Overlay (SRO)	
	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	
	Sec. 5.4.2
Fault Area	
	Sec. 5.4.3
Floodplains	
	Sec. 5.4.4
Wildland Urban Interface	
	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6
Number of signs (max)	3 per business per frontage	
Background color	No white or yellow	
Sign Area		
Total sign area (max)	3 sf per linear ft of street facade width up to 150 sf	
Penalty	10% per projecting and freestanding sign	
Sign Type Standards		
Canopy sign		
Clearance (min)	7'6" average grade	
Setback (min)	18" from back of curb	
Freestanding sign		
Height (max)	6'	
Setback (min)	5'	
Projecting sign		
Height (max)	24' above grade	
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Window sign		
Window surface coverage (max)	25% up to 16 sf	
Temporary signs	Sec. 5.6.1	
8. Grading, Erosion Control, Stormwater		
Grading		
	Sec. 5.7.2	
Erosion Control		
	Sec. 5.7.3	
Erosion shall be controlled at all times		
Stormwater Management		
	Sec. 5.7.4	
No increase in peak flow rate or velocity across property lines		

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 6,900-5,000 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
6,900 - 13,800-5,000 11,250 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 13,800-11,250 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 13,800 sf for only residential use	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing (min) (Div 6.3)
Residential Uses					
Attached Single-Family Unit (6.1.4.B)	B	<u>8,000 sf habitable excluding basement</u>	n/a	1/DU <u>for studio/1 bedroom < 500 sf; 2/DU otherwise</u>	n/a
Apartment (6.1.4.D)	B	<u>8,000 sf habitable excluding basement</u>	n/a	<u>0.25+1/bed</u>	n/a
Dormitory (6.1.4.F)	C	n/a	n/a	0.5/bed	n/a
Group Home (6.1.4.G)	C	n/a	n/a	0.5/bed	n/a
Live-Work Unit (6.1.4.H)	B	<u>750 sf min. 2,000 sf max habitable</u>	n/a	1.5 /DU or 1.5/1,000 sf	n/a
Commercial Uses					
Office (6.1.6.B)	B	n/a	n/a	<u>2.47-3.3/1,000 sf</u>	14 sf/1,000 sf
<u>Retail (6.1.6.C) (E.3)</u>	<u>B</u>	<u>2,000 sf excluding basement storage</u>	<u>E.5</u>	<u>exempt</u>	<u>156 sf/1,000 sf</u>
<u>Service (6.1.6.D) (E.3)</u>	<u>B</u>	<u>2,000 sf excluding basement storage</u>	<u>E.5</u>	<u>exempt</u>	<u>56 sf/1,000 sf</u>
<u>Local Convenience (6.1.6.F)</u>	<u>B</u>	<u>2,000 sf</u>	<u>n/a</u>	<u>None required</u>	<u>15.6 sf/1,000 sf</u>
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C)	B	n/a	n/a	independent calculation	exempt
Transportation/Infrastructure					
Utility Facility (6.1.10.C)	C	n/a	n/a	<u>0.75+1/employee + 0.75+1/stored vehicle</u>	independent calculation
Wireless Communications Facilities (6.1.10.D)				<u>0.75+1/employee + 0.75+1/stored vehicle</u>	independent calculation
Minor	B	n/a	n/a		
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	exempt
<u>Family Home Daycare (6.1.11.F)</u>	<u>B</u>	<u>n/a</u>	<u>n/a</u>	<u>0.75/employee + 0.75 off-street pick-up/drop-off</u>	<u>exempt</u>
Temporary Uses					
<u>Temporary Shelter (6.1.12.D)</u>	<u>Y</u>	<u>n/a</u>	<u>n/a</u>	<u>2/DU</u>	<u>exempt</u>

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2)

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
<u>Outdoor Storage</u>	<u>Prohibited</u>
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options								
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot Coverage (max)	Option Standards
Allowed Subdivision Options								
Land Division	n/a	7,500 sf	n/a	n/a	determined by physical development			Sec. 7.2.3
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4
2. Residential Subdivision Requirements								
Affordable Housing								Div. 7.4
Required Affordable Housing					1 affordable unit per 4 market units			
Schools and Parks Exaction								Div. 7.5
Schools exaction					.020 acres per 1- or 2-family unit .015 acres per multi-family unit			
Parks exaction					9 acres per 1,000 resident			
3. Infrastructure								
Transportation Facilities								Div. 7.6
Access								required
Right-of-way for Minor Local Road (min)								60'
Paved travel way for Minor Local Road (min)								20'
Required Utilities								Div. 7.7
Water								public
Sewer								public

4. Required Subdivision and Development Option Permits					
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)
Land Division					
≤ 10 Lots			X		X
> 10 Lots		X	X		X
Condominium/Townhouse					
					X

E. Additional Zone-Specific Standards

1. Provision of Nonresidential, Nonlodging Parking

- a. ~~Applicability. The following options for providing required parking shall apply to allowed uses except:~~
 - i. ~~Residential Uses (Sec. 6.1.4.);~~
 - ii. ~~Lodging Uses (Sec. 6.1.5.); and~~
 - iii. ~~Accessory Residential Unit (6.1.11.B).~~
- b. ~~Shared Parking Reduction. A 25% parking reduction is allowed from the ratio specified in Sec. 2.2.3.C.2 for all allowed nonresidential land uses (not including lodging):~~
- c. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable. ~~The credits include previous fee-in-lieu payments for parking, if any. Parking credits shall not be used for lodging or residential uses, except that previously paid fee-in-lieu credits may be applied to such uses.~~
- d. **On-street Parking.** Required parking may be provided on-street provided the following standards are met.
 - i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

Uninterrupted Curb per On-street Parking Space	
Parking Space Angle	Uninterrupted Curb
Parallel	22'
45°/60°	18'
90°	9'

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.

- iii. The on-street parking shall follow the established configuration of existing on-street parking, ~~except that angled parking may be allowed where permitted by Town and WYDOT standards.~~
 - iv. On-street parking spaces ~~credited for a use shall not be used exclusively by that use, but~~ shall be available for general public use at all times. No signs or actions limiting general public use ~~or time~~ of on-street spaces shall be permitted.
2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
3. **Local Convenience Commercial.** The intent of allowing retail and service use in the OR zone is that the goods sold and services provided are primarily of convenience nature to provide for the needs of residents and employees in the surrounding area.
- a. Goods and services sold shall not be of a specialty nature that rely on and attract customer and vehicle traffic from the community as a whole.
 - b. Only one retail or service use may exist on a lot of record.
4. **LSR Surfaces.** ~~The Planning Director may substitute ground-floor hardscape or amenity space improvements to satisfy the LSR requirement if the development can incorporate one or more of the following design elements including, but not limited to:-~~
- a. ~~Pervious or decorative pavers;-~~
 - b. ~~Sidewalks;-~~
 - c. ~~Boardwalks;-~~
 - d. ~~Public art display areas;-~~
 - e. ~~Publicly accessible amenity space;- or~~
 - f. ~~Pedestrian cut-throughs;-~~
5. **Nonconforming Detached Single-Family Units.** ~~Existing detached single-family units are considered nonconforming but shall not be subject to the 20% floor-area expansion limit and will be permitted to develop to the full FAR allowed in the zone. Existing detached single-family units are subject to all other applicable development standards of this Article.~~

2.2.6. RC: Residential Core

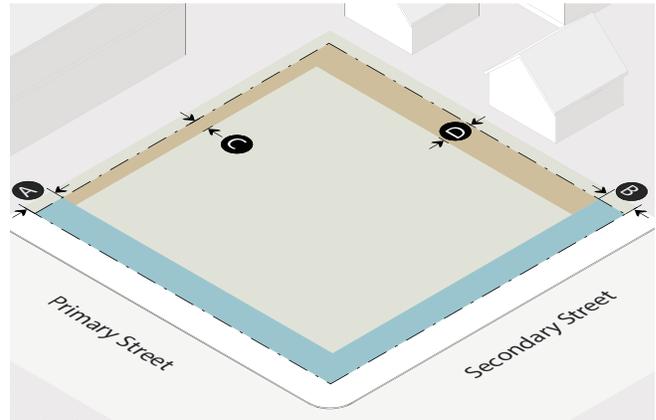
A. Intent

1. **General Intent.** The intent of the Residential Core (RC) zone is to provide active and high density residential areas with a variety of housing options, amenities, and open spaces, consisting of tree-lined streets with active building facades (porches, stoops, balconies) pulled up to the street. This zone is also intended to provide workforce housing, and to support downtown businesses.
2. **Buildings.** Buildings can be up to 3 stories in height. Massing and articulation is used to enhance residential character and reduce bulk and mass. Front setbacks are varied, some buildings are pulled up to the street with others set back with landscaping in front, creating an attractive and green street edge.
3. **Parking.** Parking is primarily provided on-site, to the rear or side of buildings and screened from view.
4. **Land Use.** Intended primarily for high-density residential uses, including workforce housing, with limited single-family detached units and neighborhood-serving retail and service uses.
5. **Comprehensive Plan.** Based primarily on sub areas 2.3, 2.5, and 3.2 of the Comprehensive Plan.

B. Physical Development

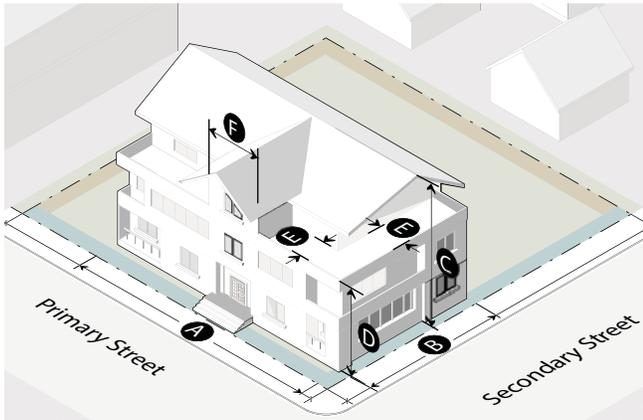
Standards applicable to physical development are provided on the following pages. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



Building Setbacks	Sec. 9.4.8	
Primary street setback range (min-max)	0' - 15'	A
Secondary street setback range (min-max)	0' - 15'	B
Side interior (min)	5'	C
Rear (min)	10'	D
Abutting protected zone (min)	10'	
Landscaping	Div. 5.5	
Landscape surface ratio (min)	<u>10%-20%</u>	
Plant Units		
All uses	1/1,000 sf of landscape area	
Parking lot (all uses)	1/12 parking spaces	
Fencing		
Height in any street or side yard (max)	4'	
Height in rear yard (max)	6'	
Setback from pedestrian frontage primary or side street lot line/R.O.W./sidewalk (min)	1'	
Setback from side or rear lot line (min)	0'	
Parking Setbacks	Sec. 9.4.8	
Primary street, <u>above ground parking</u> (min)	30'	
Secondary street, surface parking (min)	30'	
Secondary street, <u>tuck-under, enclosed, or structured parking-screened by bldg.</u> (min)	<u>0' -2'</u>	
Access		
Curb cut width (max)	<u>24'-20'</u>	

2. Bulk Standards



Street Facade	Sec. 9.4.11	
Width of ground and 2nd story in primary street setback range		A
% of lot width (min)	60%	
Length from street corner (min)	30'	
Width of ground and 2nd story in secondary street setback range		B
% of lot width (min)	30%	
Length from street corner (min)	30'	
Building Height	Sec. 9.4.9	
Height (max) if roof pitch \geq 5/12	46'	C
Height (max) if roof pitch < 5/12	42'	C
Stories (max) (E.3)	3	C
Stories <u>or Height</u> (min) in any street setback range	<u>2 or 24'</u>	D
Building Stepback	Sec. 9.4.12	
Stepback for any 3rd story street facade <u>or street facade over 30'</u> (min)	10'	E
Encroachment in stepback (max % of <u>overall</u> facade width)	<u>60%-40%</u>	F
<u>A building with only residential use that has at least 4 units is exempt from the stepback requirement</u>		
Scale of Development		
Floor area ratio (FAR max)	0.65	
<u>Deed restricted housing exemption</u>	<u>Sec. 7.8.3</u>	
Workforce housing floor area bonus	<u>Sec. 7.8.4</u>	

3. Form Standards



Nonresidential Design Guidelines	Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.	
Pedestrian Frontage Options	
<u>Planning Director will establish one of the following as the pedestrian frontage</u>	
Covered walkway	<u>see Sec. 2.2.1.C.1</u>
Trees in grates	see Sec. 2.2.1.C.2
<u>Trees in lawn</u>	<u>see Sec. 2.2.1.C.3</u>
Building Frontage Options	
Residential	see Sec. 2.2.1.D.3
Parking Type Options	
<u>On-street parking</u>	<u>see Sec. 2.2.1.E.1</u>
Surface parking	see Sec. 2.2.1.E.2
Enclosed parking	see Sec. 2.2.1.E.3
<u>Tuck-Under Parking</u>	<u>see Sec. 2.2.1.E.4</u>
Structured parking	see Sec. 2.2.1.E.5
Underground parking	see Sec. 2.2.1.E.6
<u>Remote parking</u>	<u>see Sec. 2.2.1.E.7</u>

4. Environmental Standards	
Natural Resource Setback (min)	Sec 5.1.1
<u>Cache Creek south of Cache Creek Dr.</u>	<u>20'</u>
Flat Creek north of Hansen Ave.	25'
Flat Creek south of Hansen Ave.	50'
Wetland	30'
Irrigation Ditch Setback (min)	
Irrigation Ditch	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	
Total cuff off angle (max)	90°
Illumination in footcandles	1.50
Height (max)	18'
Scenic Resource Overlay (SRO)	
	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	
	Sec. 5.4.2
Fault Area	
	Sec. 5.4.3
Floodplains	
	Sec. 5.4.4
Wildland Urban Interface	
	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6
Number of signs (max)	3 per business per frontage	
Background color	No white or yellow	
Sign Area		
Total sign area (max)	3 sf per linear ft of street facade width up to 150 sf	
Penalty	10% per projecting and freestanding sign	
Sign Type Standards		
Canopy sign		
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Freestanding sign		
Height (max)	6'	
Setback (min)	5'	
Projecting sign		
Height (max)	24' above grade	
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Window sign		
Window surface coverage (max)	25% up to 16 sf	
Temporary signs	Sec. 5.6.1	
8. Grading, Erosion Control, Stormwater		
Grading		
	Sec. 5.7.2	
Erosion Control		
	Sec. 5.7.3	
Erosion shall be controlled at all times		
Stormwater Management		
	Sec. 5.7.4	
No increase in peak flow rate or velocity across property lines		

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 9,750-5,000 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
9,750 - 19,500-5,000-- 15,000 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 19,500-15,000 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 19,500 sf for only residential use	optional	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing (min) (Div 6.3)
Residential Uses					
Detached Single-Family Unit (6.1.4.B)	B	<u>8,000 sf habitable excluding basement</u>	n/a	1/DU <u>for studio/1 bedroom < 500 sf; 2/DU otherwise</u>	n/a
Attached Single-Family Unit (6.1.4.C)	B				
Apartment (6.1.4.D)	B				
Dormitory (6.1.4.F)	C	n/a	n/a	<u>0.25+/bed</u>	n/a
Group Home (6.1.4.G)	<u>C-B</u>	n/a	n/a	0.5/bed	n/a
Commercial Uses					
<u>Retail (6.1.6.C) (E.4)</u>	<u>B</u>	<u>2,000 sf excluding basement</u>	<u>E.4</u>	<u>exempt</u>	<u>156 sf/1,000 sf</u>
<u>Service (6.1.6.D) (E.4)</u>	<u>B</u>	<u>2,000 sf excluding basement storage</u>	<u>E.4</u>	<u>exempt</u>	<u>56 sf/1,000 sf</u>
<u>Local Convenience (6.1.6.I)</u>	<u>B</u>	<u>2,000 sf</u>	<u>n/a</u>	<u>None required</u>	<u>15.6 sf/1,000 sf</u>
Transportation/Infrastructure					
Utility Facility (6.1.10.C)	C	n/a	n/a	1/employee + 1 per stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)					
Minor	B	n/a	n/a	1/employee + 1 per stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	exempt
Home Business (6.1.11.D)	<u>C-B</u>	n/a	n/a	1 per employee	exempt
<u>Family Home Daycare (6.1.11.F)</u>	<u>B</u>	<u>n/a</u>	<u>n/a</u>	<u>1/employee + 1 off-street pick-up/drop-off</u>	<u>exempt</u>

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	55 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options								
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot Coverage (max)	Option Standards
Allowed Subdivision Options								
Land Division	n/a	7,500 sf	n/a	n/a	determined by physical development			Sec. 7.2.3
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4
2. Residential Subdivision Requirements								
Affordable Housing								Div. 7.4
Required Affordable Housing					1 affordable unit per 4 market units			
Schools and Parks Exaction								Div. 7.5
Schools exaction					.020 acres per 1- or 2-family unit .015 acres per multi-family unit			
Parks exaction					9 acres per 1,000 resident			
3. Infrastructure								
Transportation Facilities								Div. 7.6
Access								required
Right-of-way for Minor Local Road (min)								60'
Paved travel way for Minor Local Road (min)								20'
Required Utilities								Div. 7.7
Water								public
Sewer								public

4. Required Subdivision and Development Option Permits					
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)
Land Division					
≤ 10 Lots			X		X
> 10 Lots		X	X		X
Condominium/Townhouse					X

E. Additional Zone-Specific Standards

1. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
2. **Detached Single-Family Units.** Detached single-family units are allowed in the RC zone, provided each of the following ~~standards-conditions~~ is met:
 - i. The entire ~~site property~~ is ~~at least more than or equal to 5 acres in area~~;
 - ii. No more than ~~10%-20%~~ of the ~~site is units are~~ detached single-family unit ~~use~~; and
 - iii. Individual lots do not exceed 5,000 square feet ~~in area~~.
 - iv. ~~The lots may not be combined for development purposes.~~
3. ~~4 Stories. A building may be 4 stories if all of the following standards are met.~~
 - a. ~~The building shall have at least 4 residential units.~~
 - b. ~~At least 65% of the residential units in the building shall be subject to an affordable or employment-based deed restriction, acceptable to the Jackson/Teton County Housing Authority, which is recorded with the County Clerk.~~
4. **Local Convenience Commercial.** ~~The intent of allowing retail and service use in the RC zone is that the goods sold and services provided are primarily of convenience nature to provide for the needs of residents and employees in the surrounding area.~~
 - a. ~~Goods and services sold shall not be of a specialty nature that rely on and attract customer and vehicle traffic from the community as a whole.~~
 - b. ~~Retail or service use is only allowed on a lot of record that has another active, lawful principal use.~~
 - c. ~~Only one retail or service use may exist on a lot of record.~~
5. ~~Nonconforming Detached Single-Family Units.~~ Existing detached single-family units are considered nonconforming but shall not be subject to the 20% floor area expansion limit and will be permitted to develop to the full FAR allowed in the zone. Existing detached single-family units are subject to all other applicable development standards of this Article:

Div. 1.9. Nonconformities

1.9.2 Nonconforming Physical Development

B. Maintenance, Alteration, Expansion, and Replacement

Maintenance, alteration, replacement, or expansion of a nonconforming physical development shall only be permitted if all 6 of the following standards are met.

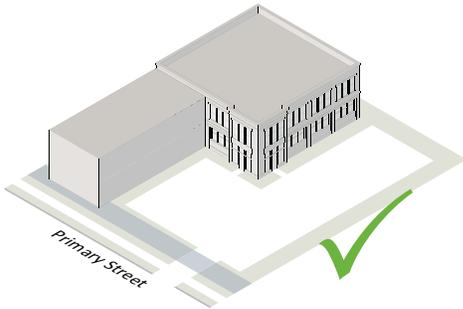
1. **No Increase in Nonconformity.** Maintenance, alteration, replacement, or expansion shall not increase the nonconformity and shall otherwise comply with all applicable standards of these LDRs.

EXAMPLE: An addition must meet all setbacks, floor area limits, and other standards even if a portion of the structure being added to does not meet a setback.

2. **Maintenance and Alteration.** A nonconforming physical development may be maintained or altered.
3. **Expansion.** A nonconforming physical development shall be brought into compliance with all applicable standards of these LDRs upon cumulative expansion of greater than 20% of its floor area or site area. Cumulative expansion is the sum of all expansions from the date the physical development became nonconforming, including all expansions under prior LDRs if the physical development became nonconforming under prior LDRs and remains nonconforming. The following exceptions shall apply to this limit on expansion.
 - a. **Historic Buildings.** This standard shall not limit expansion of a building included on the Teton County Historical Preservation Board (TCHPB) list of historically significant properties, or that are otherwise deemed in writing by the TCHPB to be historically significant.
 - b. **Workforce Housing Incentive.** Floor area added using the Exempt Floor Area for Workforce Housing development option (Sec. 7.8.2.) shall not be included in the calculation of expansion.
 - c. **Nonconforming Form Standards.** Buildings that are nonconforming with one or more of the following standards shall not have to remedy the nonconformity upon expansion.
 - i. Pedestrian frontage
 - ii. Building frontage
 - d. **Nonconforming Bulk Standards.** Buildings that are nonconforming with one or more of the following standards shall not have to remedy the nonconformity upon expansion.
 - i. Minimum stories in a street setback
 - ii. Building setback

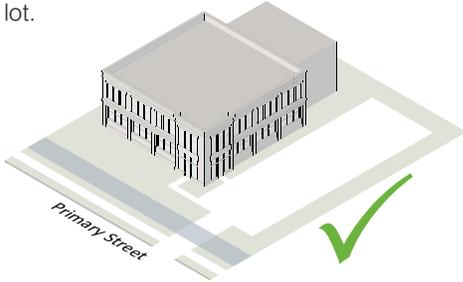
e. Nonconforming Building Facade Width

i. **Additions.** Expansion of an existing building that is unable to meet the building facade width requirement must comply with the following provisions.



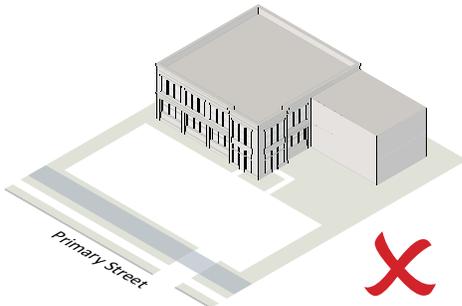
Front: Addition

Any addition to the front must be placed in the street setback range. The addition does not have to meet the required building facade width for the lot.



Rear: Addition

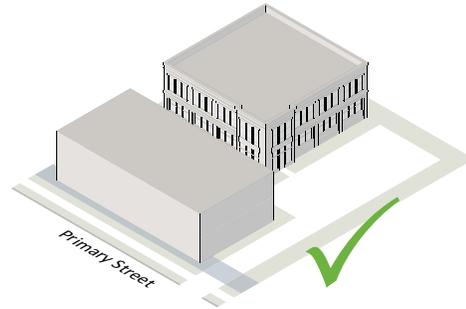
Rear additions are allowed because the extension does not increase the degree of the nonconformity.



Side: Addition

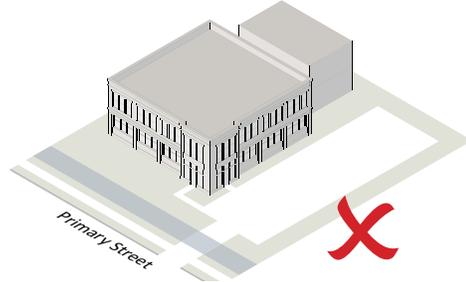
Side additions are not allowed because the extension increases the width of the building not located in the street setback range.

ii. **New Buildings.** Where a new building is being constructed on a lot with an existing building that doesn't meet the building facade width requirement, the following provisions apply.



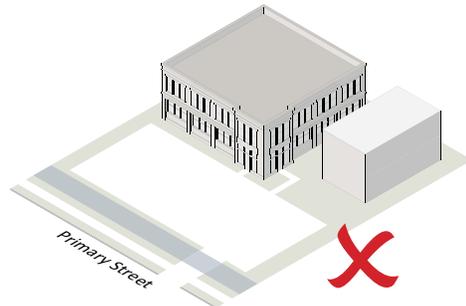
Front: New Building

All new buildings must be placed in the street setback range until the required building facade width for the lot has been met.



Rear: New Building

New buildings located outside of the street setback range are not allowed until the required building facade width for the lot has been met.



Side: New Building

New buildings located outside of the street setback range are not allowed until the required building facade width for the lot has been met.

Div. 2.3. Complete Neighborhood Legacy Zones

Sec. 2.3.1. Town Square (TS)

C. Allowed Uses and Use Standards

Standards applicable to uses in the TS zone are provided or referenced below. Allowed uses are listed in Subsection 1. Uses that are not listed are prohibited, unless a similar use determination is made pursuant to 6.1.2.D. Where a cross reference is provided, please see the referenced division or section for additional standards applicable in the TS zone. This Subsection is intended to indicate all of the use standards applicable in the TS zone, however, all standards in Article 6. are applicable in the TS zone, unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	BSA (min)	Density (max)	Parking (min) (Div. 6.2.) (E.2)	Employee Housing Area (min) (Div. 6.3.)
Lodging					
Conventional Lodging (6.1.5.B.)	C(LO)	0 sf	n/a	0.75/LU + 1 per 150 sf assembly area	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C.)	C(LO)	0 sf	n/a	1.5/1,000 sf, max 2 see 6.2.6.B	47 sf/1,000 sf
Commercial Uses					
Office (6.1.6.B.)	B	0 sf	n/a	1.65-3-3 /1,000 sf	14 sf/1,000 sf
Retail (6.1.6.C.)	B	0 sf	n/a	2.25-4-5 /1,000 sf	156 sf/1,000 sf
Service (6.1.6.D.)	B	0 sf	n/a	1.5-3 /1,000 sf	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E.)	B	0 sf	n/a	1/ 110-55 sf dining area + 1/ 60-30 sf bar area	378 sf/1,000 sf
Amusement/Recreation					
Amusement (6.1.7.B.)	C	0 sf	n/a	1/ 60-30 sf seating area or independent calculation	independent calculation
Transportation/Infrastructure					
Wireless Communications Facilities (6.1.10.D.)					
Minor	B	0 sf	n/a	0.5-1 /employee + 0.5-1 /stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B.)	B	0 sf	n/a	1.25/DU	n/a
Home Occupation (6.1.11.D.)	B	0 sf	n/a	n/a	n/a

Y = Use allowed, no permit required, B=Basic Use Permit (Sec. 8.4.1.), C=Conditional Use Permit (Sec. 8.4.2.), (LO)= Lodging Overlay Only

E. Additional Zone-specific Standards

2. Provision of Nonresidential, Nonlodging Parking

- a. Applicability. The following options for providing required parking shall apply to allowed uses except:

- i. Residential Uses (Sec. 6.1.4.);
 - ii. Lodging Uses (Sec. 6.1.5.); and
 - iii. Accessory Residential Unit (6.1.11.B).
- b. Existing Parking Credits. For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable.
- c. On-street Parking. Required parking may be provided on-street provided the following standards are met.

- i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

<u>Uninterrupted Curb per On-street Parking Space</u>	
<u>Parking Space Angle</u>	<u>Uninterrupted Curb</u>
<u>Parallel</u>	<u>22'</u>
<u>45°/60°</u>	<u>18'</u>
<u>90°</u>	<u>9'</u>

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.
 - iii. The on-street parking shall follow the established configuration of existing on-street parking.
 - iv. On-street parking spaces shall be available for general public use at all times. No signs or actions limiting general public use of on-street spaces shall be permitted.
- d. Fee-In-Lieu. Required parking may be provided off-site through the Town's in-lieu fee program pursuant to the following standards.
- i. Fee. The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with the parking fee schedule set forth by Resolution.
 - ii. Assignment of Credits. Parking credits purchased by fee-in-lieu run with the land and are not transferable.
 - iii. Banking of Fee-in-Lieu Spaces. Fee-in-lieu spaces may be purchased in advance and "banked" for future use.
3. Loading Requirement. Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.

Sec. 2.3.2. Urban Commercial (UC)

C. Allowed Uses and Use Standards

Standards applicable to uses in the UC zone are provided or referenced below. Allowed uses are listed in Subsection 1. Uses that are not listed are prohibited, unless a similar use determination is made pursuant to 6.1.2.D. Where a cross reference is provided, please see the referenced division or section for additional standards applicable in the UC zone. This Subsection is intended to indicate all of the use standards applicable in the TS zone, however, all standards in Article 6. are applicable in the UC zone, unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	BSA (min)	Density (max)	Parking (min) (Div. 6.2.) (E.5)	Employee Housing Floor Area (min) (Div. 6.3.)
Residential Uses				see also 6.2.6.B	
Detached Single-Family Unit (6.1.4.B.)	Y	0 sf	n/a	1.5/1,000 sf, max 2-2/unit	n/a
Attached Single-Family Unit (6.1.4.C.) (E.2.)	B	0 sf	n/a	1.5/1,000 sf, max 2-2/DU +0.5 per DU if ≥ 3 units served by lot	n/a
Apartment (6.1.4.D.) (E.2.)	B	0 sf	n/a	1.5/1,000 sf, max 2-2/DU +0.5 per DU if ≥ 3 units served by lot	n/a
Dormitory (6.1.4.F.)	C	0 sf	35 rooms per acre	1/bed	n/a
Group Home (6.1.4.G.)	C	0 sf	35 rooms per acre	0.5/bed	n/a
Lodging					
Conventional Lodging (6.1.5.B.)	B(LO)	0 sf	n/a	0.75/LU + 1 per 150 sf assembly area	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C.)	B(LO)	0 sf	n/a	1.5/1,000 sf, max 2-2/LU (see also 6.2.6.B)	47 sf/1,000 sf
Commercial Uses					
Office (6.1.6.B.)	B	0 sf	n/a	1.65-3.3/1,000 sf	14 sf/1,000 sf
Retail (6.1.6.C.)	B	0 sf	n/a	2.25-4.5/1,000 sf	156 sf/1,000 sf
Service (6.1.6.D.)	B	0 sf	n/a	1.5-3/1,000 sf	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E.)	B	0 sf	n/a	1/ 110-55 sf dining area + 1/ 60-30 sf bar area	378 sf/1,000 sf
Amusement/Recreation					
Amusement (6.1.7.B.)	C	0 sf	n/a	1/ 60-30 sf seating area or independent calculation	independent calculation
Developed Recreation (6.1.7.D.)	B	0 sf	n/a	2.25-4.5/1,000 s	independent calculation
Outfitter/Tour Operator (6.1.7.E.)	C	0 sf	n/a	independent calculation	independent calculation

Y = Use allowed, no permit required, B=Basic Use Permit (Sec. 8.4.1.), C=Conditional Use Permit (Sec. 8.4.2.), (LO)= Lodging Overlay Only

1. Allowed Uses				2. Use Requirements	
Use	Permit	BSA (min)	Density (max)	Parking (min) (Div. 6.2.) <u>(E.5)</u>	Employee Housing Floor Area (min) (Div. 6.3.)
Institutional Uses					
Assembly (6.1.8.B.)	C	0 sf	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C.)	B	0 sf	n/a	independent calculation	exempt
Transportation/Infrastructure					
Utility Facility (6.1.10.C.)	C	0 sf	n/a	<u>0.5+</u> /employee + <u>0.5+</u> /stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D.)					
Minor	B	0 sf	n/a	<u>0.5+</u> /employee + <u>0.5+</u> /stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B.)	B	0 sf	n/a	1.25/DU	n/a
Bed and Breakfast (6.1.11.C.)	B(LO)	0 sf	n/a	0.75/LU	47 sf/1,000 sf
Home Occupation (6.1.11.D.)	B	0 sf	n/a	n/a	exempt
Home Business (6.1.11.E.)	B	0 sf	n/a	<u>0.5+</u> per employee	exempt
Family Home Daycare (6.1.11.F.)	B	0 sf	n/a	<u>0.5+</u> /employee + <u>0.5+</u> off-street pick-up/drop-off	exempt
Home Daycare Center (6.1.11.G.)	B	0 sf	n/a	<u>0.5+</u> /employee + <u>1-2</u> off-street pick-up/drop-off	exempt
Drive-in Facility (6.1.11.H.)	B	0 sf	n/a	n/a	exempt
Temporary Uses					
Christmas Tree Sales (6.1.12.B.)	Y	0 sf	n/a	<u>0.5+</u> /1,000 sf outdoor display area + <u>0.5+</u> /employee	exempt
Temporary Shelter (6.1.12.D.)	Y		1 unit per lot	<u>1.5/1,000 sf, max 2-2/DU</u>	exempt
Farm Stand (6.1.12.E.)	B	0 sf	n/a	<u>2.5-5</u> /1,000 sf display area	exempt
Temporary Gravel Extraction & Processing (6.1.12.F.)	B	0 sf	n/a	<u>0.5+</u> /employee	exempt

Y = Use allowed, no permit required, B=Basic Use Permit (Sec. 8.4.1.), C=Conditional Use Permit (Sec. 8.4.2.), (LO)= Lodging Overlay Only

E. Additional Zone-specific Standards

5. Provision of Nonresidential, Nonlodging Parking

- a. Applicability. The following options for providing required parking shall apply to allowed uses except:
 - i. Residential Uses (Sec. 6.1.4.):

- ii. Lodging Uses (Sec. 6.1.5.); and
- iii. Accessory Residential Unit (6.1.11.B).
- b. Existing Parking Credits. For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable.
- c. On-street Parking. Required parking may be provided on-street provided the following standards are met.

- i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

<u>Uninterrupted Curb per On-street Parking Space</u>	
<u>Parking Space Angle</u>	<u>Uninterrupted Curb</u>
<u>Parallel</u>	<u>22'</u>
<u>45°/60°</u>	<u>18'</u>
<u>90°</u>	<u>9'</u>

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.
- iii. The on-street parking shall follow the established configuration of existing on-street parking.
- iv. On-street parking spaces shall be available for general public use at all times. No signs or actions limiting general public use of on-street spaces shall be permitted.
- d. Fee-In-Lieu. Required parking may be provided off-site through the Town's in-lieu fee program pursuant to the following standards.
 - i. Fee. The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with the parking fee schedule set forth by Resolution.
 - ii. Assignment of Credits. Parking credits purchased by fee-in-lieu run with the land and are not transferable.
 - iii. Banking of Fee-in-Lieu Spaces. Fee-in-lieu spaces may be purchased in advance and “banked” for future use.
- 3. Loading Requirement. Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.

Div. 5.6. Sign Standards

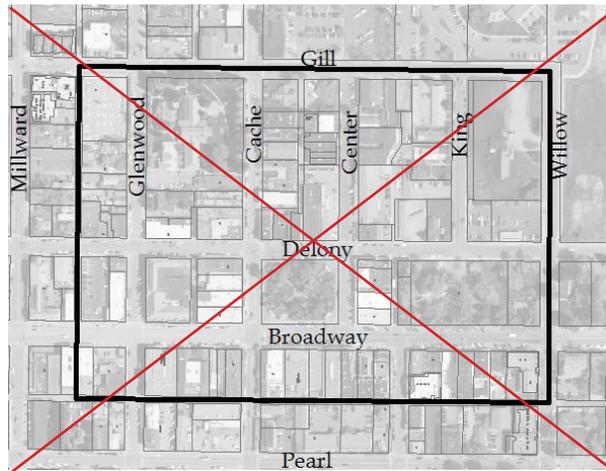
Sec. 5.6.1 Town Sign Standards

C. Allowable Signage

1. Allowable Signage by Sign District

a. Town Square Sign District

- i. Town Square Sign District Boundary. The Town Square Sign District ~~encompasses the boundaries depicted below~~ is coincident with the Town Square zone.



ii. Permitted Amount of Signage

- a). Two and one-half square feet of sign area for each lineal foot of street facade width-building frontage up to a maximum of 125 square feet of total sign area is permitted, unless adjusted as hereinafter provided.

b. General Sign District

ii. Permitted Amount of Signage

- a). 3 square feet of sign area for each lineal foot of street facade width-building frontage up to a maximum of 150 square feet of total sign area is permitted, unless adjusted as hereinafter provided

Div. 5.8. Design Guidelines

Sec. 5.8.1 Applicability

A. General

The following applications shall be required to complete design review based upon criteria established in the Town's Design Guidelines prior to the issuance of a building permit or development plan, as established in Div. 8.3.

1. All applications for nonresidential development and redevelopment within the Town.
2. All applications within the DC, CR-1, CR-2, OR, and RC zones.

B. Zone-Specific Applicability

In certain zones only portions of the Town's Design Guidelines apply. The zone-specific applicability of the design guidelines is established in Article 2.-Article 4.

C. Planning Director Exemption

The Planning Director may exempt certain building additions and exterior modifications to existing buildings that require only a building permit approval, provided that the modifications do not expand the floor area of the building by more than 20% and such additions and modifications are consistent with the materials and architecture of the existing structure.

Div. 6.1. Allowed Uses

6.1.4. Residential Uses

H. Live/Work Unit

3. Standards
 - a. Only the following nonresidential uses may be incorporated into live/work units, and only if the use is allowed in the zone:
 - i. Office (6.1.6.B.)
 - ii. Retail (6.1.6.C.)
 - iii. Services (6.1.6.D.)
 - iv. Heavy retail/service (6.1.6.F)

6.1.5. Lodging Uses

C. Short-term Rental Unit

2. Standards
 - c. A short-term rental unit shall be subject to the stricter of the two standards when residential and nonresidential standards would apply.

EXAMPLE: A short-term rental unit is subject to residential affordable housing requirements rather than nonresidential employee housing requirements.

6.1.6. Commercial Uses

E. Restaurant/Bar

1. **Definition.** A restaurant or bar is an establishment oriented to the serving of food or beverages.
 - a. Includes:
 - i. Micro-brewery, micro-distillery or micro-winery.
2. **Standards.**
 - a. Breweries, distilleries and wineries are generally considered light industrial uses. In order to be considered a restaurant/bar, a micro-brewery, micro-distillery or micro-winery must include a tasting room in which guests or customers may sample the product, and the facility must produce no more than the following beverage volumes on-site each year:
 - i. 15,000 ~~barrels-gallons~~ of fermented malt beverages;
 - ii. 15,000 ~~barrels-gallons~~ of spirituous beverages; or
 - iii. 100,000 gallons of vinous beverages.

I. ~~Local Convenience~~

1. ~~**Definition.** Local convenience uses are retail and service uses that are located in small tenant spaces and intended to serve the surrounding neighborhood only. This use is not intended to attract customers and vehicular traffic from the Town as a whole.~~

Div. 6.2. Parking and Loading Standards

~~6.2.6. Parking and Loading Standards in the Downtown Parking District [deleted]~~

A. ~~Applicability~~

~~This Section applies to uses located within the Downtown Parking District, which is coincident with the Lodging Overlay established on the Official Zoning Map, excluding the southern portion of the Lodging Overlay contiguous with and south of Snow King Avenue. All standards of this Division shall apply unless modified by this Section.~~

B. ~~Required Parking~~

1. ~~**Peak Demand.** Peak parking demand of all uses shall be initially determined using the table in 6.2.2.A, except as modified below.~~
 - a. ~~**Short-Term Rental Requirements.** The parking requirements for short-term rental uses shall be 1.5 spaces per 1,000 square feet, with a minimum requirement of 1 space per unit and a maximum of 2 spaces per unit.~~

- ~~b. **Residential Requirements.** Residential parking requirements shall be 1.5 spaces per 1,000 square feet, with a minimum requirement of 1 space per unit and a maximum of 2 spaces per unit.~~
- ~~2. **Shared Parking Credit.** A shared parking credit of 50% of the peak parking demand for nonresidential land uses (not including lodging) shall be allowed due to sharing of parking between and among all nonresidential uses in the Downtown Parking District.~~
 - ~~a. **Shared Parking.** An applicant may propose an alternate shared parking plan pursuant to 6.2.2.B, instead of utilizing the 50% credit.~~
- ~~3. **Credit for Existing Use.** Applicants shall be credited for the actual amount of parking provided on-site, off-site, or as purchased through the parking fee in lieu program.~~

C. Location of Parking

- ~~1. **On-Street Parking.** Credit for on-street parking spaces shall be permitted. The amount of off-street parking required shall be reduced by one off-street parking space for every on-street space in front of the development (i.e., on one side of the street). On-street parking shall follow the established configuration of existing on-street parking, except that angled parking may be allowed for some streets, where permitted by Town and WYDOT standards. The following constitutes an on-street parking space:~~
 - ~~a. Parallel parking. One space for every 22 feet of uninterrupted curb.~~
 - ~~b. [45/60]-degree diagonal. One space for every 18 feet of curb.~~
 - ~~c. 90-degree (perpendicular) parking. One space for every 9 feet of curb.~~
 - ~~d. Curb space shall be contiguous to the lot, which contains the use.~~
 - ~~e. Parking spaces may not be counted that obstructs a required clear vision area, and/or any other parking that violates any law or street standard.~~
 - ~~f. On-street parking spaces credited for a specific use shall not be used exclusively by that use, but shall be available for general public use at all times. No signs or actions limiting general public use or time of on-street spaces shall be permitted.~~
 - ~~g. There shall be no credit given for on-street parking for those properties adjacent to a red curb or other no parking areas put in place by the Town and/or Wyoming Department of Transportation.~~

2. **On-Site Percentage Required.** Nonresidential developments with a total square footage above grade less than 25,000 square feet shall not be required to have any on-site parking spaces. Nonresidential projects of more than 25,000 square feet shall have at least 25% of their parking requirements met on-site.
3. **Off-Site Parking Permitted.** Applicants may fulfill the relevant proportion of their parking requirement off-site through the Town's fee in lieu program and/or through the ownership of other parking within 1,000 feet measured along a straight line from the center of the primary street frontage of the project. The applicant shall provide a deed restriction for the proposed off-site parking location for review and approval by the Town to ensure that the proposed parking will be provided for the life of the use.
 - a. **Payment of Fee-in-Lieu of Providing Off-Street Parking.** Applicants may fulfill the relevant proportion of their parking requirement off-site through the Town's fee in lieu program pursuant to the following standards:
 - i. **Fee Commensurate with Cost to Provide Off-Street Parking.** A one-time fee may be paid in lieu of providing a portion of the on-site parking required by these LDRs. The fee shall be commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with parking and fee schedules set forth by Resolution, and in accordance with the standards of this Section.
 - ii. **Credits for Prior Use.** In instances of redevelopment, parking fee credit shall be given for any legal use existing on the subject land as of October 29, 1988. Credits are calculated on the basis of the off-street parking requirements, which became effective throughout the Town on October 29, 1988.
 - a). **Assignment of Credits.** All parking credits run with the land and are not transferable. All credits are calculated and applied in the aggregate, and are not applied on a use-by-use basis.
 - b). **Prior Purchase of Fee-in-Lieu Spaces.** Sites, for which fee-in-lieu were once paid, will be entitled to a credit for that number of spaces in calculation of new parking requirements.
 - iii. **Banking of Fee-in-Lieu Spaces.** Applicants will be allowed to pay for fee in lieu spaces in advance and "bank" the use of, said spaces for future redevelopment within the district.
4. **Lodging Requirements**
 - a. All lodging and short-term rental uses shall provide at least one space on-site, and off-street.
 - b. Parking for on-site employee housing for employees working on-site will not be required.

5. **Residential Requirements**

- a. ~~All residential units shall provide at least one space per unit on-site, and off-street with the following exceptions:~~
 - i. ~~Residential units equal to or less than 850 square feet in size shall not be required to provide any on-site parking. Said units shall be responsible for meeting the applicable parking requirements off-site.~~
 - ii. ~~All affordable and employee housing units meeting the requirements of Div. 7.4. or Div. 6.3. shall not be required to provide any on-site parking. Said units shall be responsible for meeting the applicable parking requirements off-site.~~

D. **Loading Requirements**

~~It is the intent of this Section that sufficient off-street loading facilities be constructed within the Downtown Parking District to meet the needs of users located there. The requirements of 6.2.2.E. shall not be applicable. The applicant shall address how their specific loading needs are being met in the proposed application.~~

Div. 7.8. Workforce Housing Incentive Program

7.8.1. Intent

This Division establishes incentives for the development of workforce housing. Because not every landowner will use the incentives, this Division manages growth by limiting the actual (rather than a projected) use of the incentives. Section 7.8.2. establishes the limit on the cumulative use of the incentives over time, and the following Sections establish specific incentives.

7.8.2. Cumulative Limit on Incentives

Use of an incentive in this Division is prohibited if the application would increase the amount of residential development allowed in the Town and County above the amount allowed and planned for since 1994.

- E. The amount of residential development allowed in the Town and County is reported annually as Indicator 1 of the Jackson/Teton County Comprehensive Plan Indicator Report. Past Indicator Reports can be found at www.jacksontetonplan.com.
- F. A residential unit shall be added to the amount of residential development allowed in the Town and County upon its initial approval using an incentive in this Division.
- G. A residential unit approved using an incentive in this Division shall be subtracted from the amount of residential development allowed in the Town and County upon expiration, revocation, or extinguishment of the approval.

EXAMPLE: A project proposing 4 residential units through use of the Workforce Housing Floor Area Bonus (Sec. 7.8.4.) receives Sketch Plan approval in 2016. The 2017 Indicator Report would report an increase of 4 residential units as a result of the project. If by 2018 the units are not built and the Sketch Plan approval has expired, the 2019 Indicator Report would report a decrease of 4 residential units as a result of the project expiration. The cumulative effect of the increase reported in the 2017 and decrease reported in the 2019 would reflect that no incentive units have been built on the site.

- H. A short-term rental unit approved pursuant to Sec. 7.8.4 shall not be counted toward the residential development allowed in the Town and County.

7.8.3. Deed Restricted Housing Exemption

A. Intent

Deed restricted housing is required by Div. 6.3, Div. 7.4, and other standards of these LDRs. A landowner may also voluntarily deed restrict housing. In order to encourage incorporation of required and voluntary deed restricted housing into development, deed restricted housing is exempt from certain LDRs.

B. Applicability

The exemptions of this section shall apply to the following floor area.

1. Required Restricted Housing. Floor area in a residential unit that is required to be restricted in order to comply with Div. 6.3., Div. 7.4., or another standard of these LDRs.
2. Voluntary Restricted Housing. Floor area in a residential unit that is subject to an affordable, employee, employment-based, or rental workforce deed restriction, acceptable to the Jackson/Teton County Housing Authority, which is recorded with the County Clerk, that is not required by Div. 6.3., Div. 7.4., or another standard of these LDRs.

C. Exemptions

Floor area meeting the applicability standards of this Section is exempt from calculation of the following standards, but is still subject to all other applicable standards of these LDRs.

1. Maximum Floor Area Ratio (FAR)
2. Thresholds for physical development permits
3. Affordable housing required by Div. 7.4
4. Limit on 20% expansion of a nonconforming physical development

7.8.4. Workforce Housing Floor Area Bonus

A. Intent

In most cases, the volume of building allowed by the minimum setbacks and maximum height exceeds the volume of building allowed by the FAR of a property. The purpose of the workforce housing floor area bonus is to encourage development, especially by the private sector, of additional deed restricted housing in that excess volume by allowing additional unrestricted floor area.

B. Applicability

The exemptions of this Section shall apply to both the deed restricted and unrestricted floor area approved pursuant to this Section.

1. Maximum Amount of Unrestricted Housing. The maximum amount of unrestricted floor area that can be approved pursuant to this Section is limited by the amount of restricted floor area provided pursuant to this Section, as tabulated below.

<u>Maximum Exempt Unrestricted Floor Area per Voluntarily Restricted Floor Area</u>	
<u>Zone</u>	<u>Unrestricted Floor Area : Restricted Floor Area</u>
<u>DC</u>	<u>2:1</u>
<u>CR-1</u>	<u>2:1</u>
<u>CR-2</u>	<u>2:1</u>
<u>OR</u>	<u>2:1</u>
<u>RC</u>	<u>2:1</u>

2. Restricted Housing. The restricted floor area provided pursuant to this Section shall be subject to an affordable, employee, employment-based, or rental workforce deed restriction, acceptable to the Jackson/Teton County Housing Authority, which is recorded with the County Clerk.
3. Required Restrictions Do Not Apply. Floor area that is required to be restricted in order to comply with Div. 6.3, Div. 7.4, or another standard of these LDRs shall not be included in the calculation of the maximum amount of unrestricted floor area allowed by this Section.
4. Allowed Use. Floor area approved pursuant to this Section shall only be used for one of the following uses:
 - a. Attached Single Family Dwelling (6.1.4.C); or
 - b. Apartment (6.1.4.D); or
 - c. Dormitory (6.1.4.F); or
 - d. Group Home (6.1.4.G); or
 - e. Short-term Rental Unit (6.1.5.C), if the floor area is unrestricted and located in the Lodging Overlay.

C. Exemptions

Floor area meeting the applicability standards of this Section is exempt from calculation of the following standards, but is still subject to all other applicable standards of these LDRs.

1. Maximum Floor Area Ratio (FAR)
2. Thresholds for physical development permits
3. Affordable housing required by Div. 7.4
4. Limit on 20% expansion of a nonconforming physical development

Div. 8.8 Relief from the LDRs

8.8.1. Administrative Adjustment

B. Applicability

An application may be made for administrative adjustment of the following standards of the LDRs.

1. Landscape Surface Ratio may be adjusted up to 20%.
2. Structure setbacks, not including setbacks from natural resources, may be adjusted up to 20%.
3. Site development setbacks, not including setbacks from natural resources, may be adjusted up to 20%.
4. Fencing height and setbacks may be adjusted up to 20%.
5. Grade of developable slopes may be adjusted up to 20%.
6. Any dimensional standard of a building frontage may be adjusted up to 20%.
7. Building facade width may be adjusted up to 20%.
8. Wildlife friendly fencing may be adjusted as allowed by 5.1.2.E.
9. Standard plant units may be adjusted as allowed by 5.5.3.F.3.
10. Sign standards may be adjusted as allowed by 5.6.1.B.2.
11. Parking requirement may be adjusted as allowed by 6.2.2.A.1.
12. Pedestrian frontage standards may be adjusted as allowed by 2.2.1.C.

Div. 9.4. Rules of Measurement

9.4.6. Density/Intensity

The following standards shall apply to the calculation of maximum density, maximum floor area, minimum landscape surface area, and required open space.

A. General

1. **Split Zoning.** On sites in multiple zones, calculations shall be based on the base site area, or gross site area in character zones (Div. 2.2. & Div. 3.2.), in each zone.
2. **Mixed Use.** On sites with multiple uses, the base site area, or gross site area in character zones (Div. 2.2. & Div. 3.2.), shall be prorated to determine the allowed density/intensity of each use.

EXAMPLE: On a base site area of 30,000 square feet with an FAR of 0.3 for a single family unit, a 3,000 square foot single family unit would occupy 10,000 square feet of the base site area ($3,000/.3 = 10,000$), leaving 20,000 square feet of base site area left to calculate the remaining maximum floor area for other uses on the property.

B. Maximum Density

Unless stated otherwise for a specific provision of these LDRs, density is calculated by dividing the number of units by the base site area, or gross site area in character zones (Div. 2.2. & Div. 3.2.).

EXAMPLE: 3 units on 35 acres of base site area is a density of 0.086 units/acre ($3/35 = .086$).

C. Floor Area Ratio (FAR)/Maximum Floor Area

The floor area ratio (FAR) is calculated by dividing the gross floor area above grade by the base site area, or gross site area in character zones (Div. 2.2. & Div. 3.2.).

EXAMPLE: On a base site area of 24,000 square feet a building with 8,000 square feet of gross floor area where 2,000 square feet was in the basement would have an FAR of .25 ($(8,000-2,000)/24,000 = .25$). Alternatively, unless otherwise defined in these LDRs, the maximum allowed floor area is calculated by multiplying the allowed FAR by the base site area (see Sec. 9.5.F for definition of Floor Area).

D. Open Space Ratio (OSR)/Minimum Required Open Space

The open space ratio (OSR) is calculated by dividing the area of the open space by the base site area, or gross site area in character zones (Div. 2.2. & Div. 3.2.).

EXAMPLE: A property that has 28 acres of open space with a base site areas of 35 acres has an OSR of .8 ($28/35 = .8$). Unless otherwise defined in these LDRs, the minimum required amount of open space is calculated by multiplying the required OSR by the base site area (see Sec. 9.5.O. for definition of Open Space, Required).

E. Landscape Surface Ratio (LSR)/Minimum Landscape Surface Area

The landscape surface ratio (LSR) is calculated by dividing the landscape surface area by the base site area, or gross site area in character zones (Div. 2.2. & Div. 3.2.).

EXAMPLE: A property that has 6,000 square feet of landscape surface area and a base site area of 24,000 square feet has an LSR of .25 ($6,000/24,000 = .25$). Unless otherwise defined in these LDRs, the minimum required amount of landscape surface area is calculated by multiplying the required LSR by the base site area (see Sec. 9.5.L. for definition of Landscape Surface Area).

F. Lot Coverage

Lot coverage is calculated by dividing the building footprint by the adjusted site area, or gross site area in character zones (Div. 2.2. & Div. 3.2.).

EXAMPLE: A single-family unit with a building footprint of 1,500 square feet on an adjusted site area of 7,500 sf would have a lot coverage of .2 ($1,500/7,500 = .2$). Unless otherwise defined in these LDRs, the maximum building footprint is calculated by multiplying the maximum lot coverage by the adjusted site areas (see Sec. 9.5.F, for definition of Footprint, Building). Sites with residential and nonresidential use shall be exempt from any lot coverage requirement..

9.4.8 Setback

A setback is a measure of the shortest horizontal distance between a physical development or use and the feature from which it is being set back.

A. Setback Runs Parallel to Feature.

A required setback shall be applied parallel to the length of the feature from which the setback is required.

B. Minimum Setback

Unless otherwise defined in these LDRs, a setback shall be the minimum distance between a physical development or use and a certain feature, ~~shall be the minimum setback~~

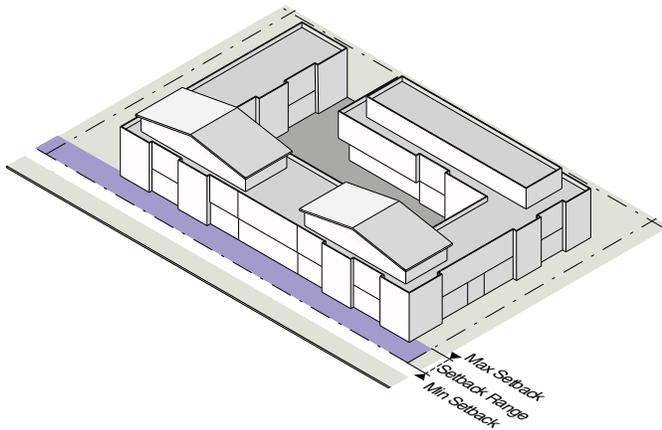
C. Zero-Or Setbacks

When ~~a required~~ ~~the side interior or rear~~ setback is 0 **OR** ~~another distance~~ 5-feet, the ~~physical development or use shall be located either adjacent to the feature or setback the minimum distance.~~ building or structure may be placed on the property line or be placed a minimum of 5 feet from the property line.

EXAMPLE: In the DC zone the minimum side interior setback is 0' or 5'. A structure could be located on the side lot line or 5' from the side lot line, but could not be located 3' from the side lot line.

D. Setback Range

~~A~~ The street setback range is the area ~~between on the lot where a certain percentage of the front building facade must be located, measured as~~ a minimum and maximum setback.



E. Street Setback

1. Point of Measurement

- a. **Character Zones.** In a Character Zone (Dev. 2.2 & Div. 3.2) A street setback shall be measured ~~to from~~ the back of the pedestrian frontage line.
- b. **Legacy Zones.** In a Legacy Zone (Div. 2.3 & Div. 3.3) A street setback shall be measured ~~from a structure~~ to any road right-of-way, roadway, vehicular access easement, additional width required for right-of-way purpose as established in the Master Plan for Street Improvements, or property line from which access is taken.

2. **Driveway Setback.** The minimum setback from a structure to a driveway easement shall be the street setback or 25 feet, whichever is less.

F. Side Setback

A side setback shall be measured ~~from a structure~~ to any side lot line.

G. Rear Setback

A rear setback shall be measured ~~from a structure~~ to any rear lot line.

9.4.9 Building Height

C. Exceptions

No part of any building or structure may exceed the maximum allowable height except for the following:

1. Structures used exclusively for elevator or stairway access to a roof, ~~may exceed the established height limit of the zoning district~~ provided they do not exceed the maximum height by more than 10 feet, do not occupy more than 20% of the roof area, and are not visible from ground level view from an abutting street.

9.4.10 Street Lot Line Designation

A. Planning Director Determination

On sites with multiple street frontages, the Planning Director will designate ~~primary and side~~ street lot lines based on the criteria below:

1. The street or streets with the highest classification;
2. The established orientation of the block;
3. The street or streets abutting the longest face of the block;
4. The street or streets parallel to an alley within the block;
5. The street that the lot takes its access address from; and
6. The pedestrian orientation of adjacent or abutting development, existing or proposed.

B. Character Zones

In a Character Zone (Div. 2.2 & 3.2), a site with multiple street frontages shall have at least one primary street lot line. A site may have more than one primary street. Remaining frontages shall be designated as side street lot lines. Remaining lot lines shall be side lot lines; a lot with multiple frontages shall not have a rear lot line.

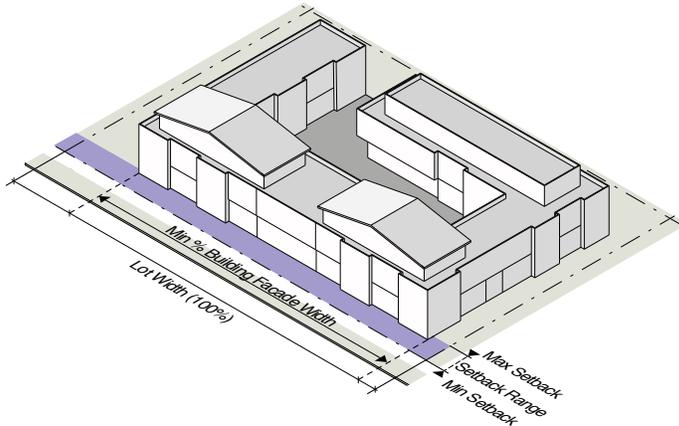
C. Legacy Zones

In a Legacy Zone (Div. 2.2 & 3.2) the Planning Director shall determine one street lot line the street setback shall be applied to the street frontage or frontages with the most predominate pattern of street setbacks as determined by the Planning Director. After the street lot line setback is determined, the landowner shall choose the rear lot line that shall receive a rear setback and the remaining lot lines shall receive be side lot lines setbacks.

9.4.11 Street Facade Building Facade Width

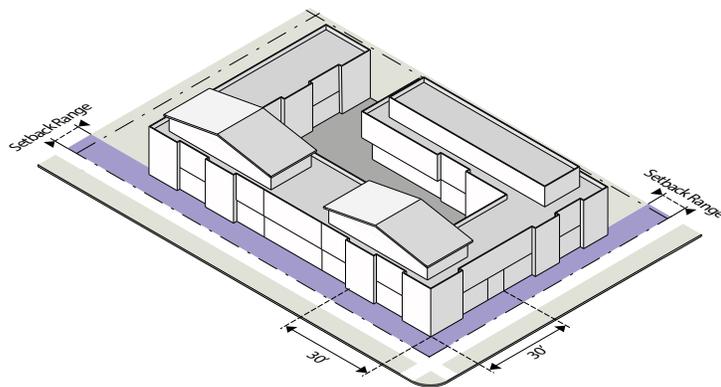
A. Percentage of Lot Width Defined

The required percentage is calculated by dividing the facade width located in the specified setback range the amount of the front building facade that must be located in the primary street or side street setback range, measured based on the width of the building divided by the width of the lot.



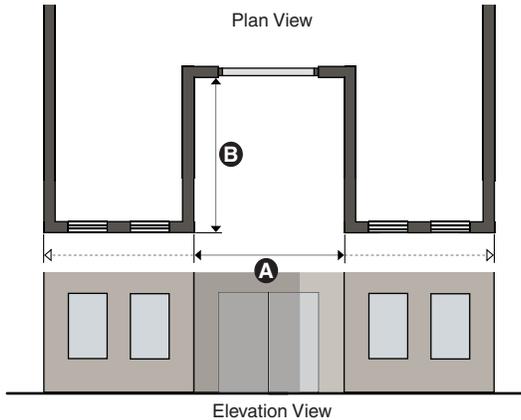
B. Corner Width

The width of a street facade on a street extending from a lot corner that must be include a building facade within the street setback range shall be measured from the street corner edge of the facade, parallel to the street lot line back of curb.



C. Forecourt

A forecourt (~~defined as an open area at grade, or within 30 inches of grade,~~ that serves as an open space, plaza or outdoor dining area, ~~and~~) that meets the standards below is considered part of the building facade for the purpose of meeting the required facade width in the street setback range.



Width (max)	1/3 of facade width up to 35'	A
Depth (min)	35'	B
Height	within 30" of grade	
Transparency of forecourt-facing facades	40%	

D. ~~Uses Allowed~~

~~With the exception of parking spaces and outdoor storage, all structures and uses (including outdoor dining) allowed on the lot are allowed in the primary and side-street setback range.~~

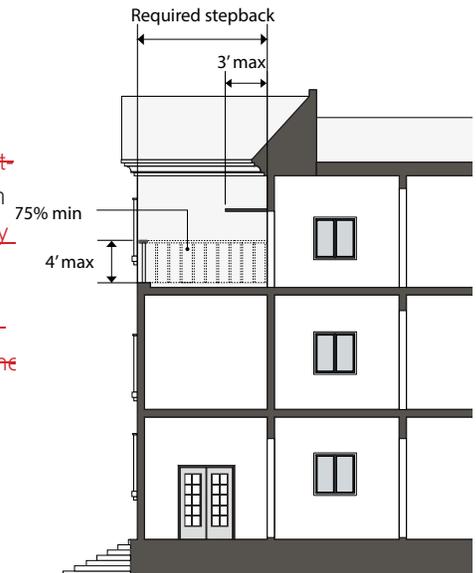
9.4.12 ~~Building~~ Stepback

A. ~~Stepback Required~~

- ~~A stepback is measured. Where allowed, all third-story primary or side-street-facing building facades must be stepped back as required by the zone from the top of the second ground story outer wall plane to the facade of the story required to be stepped back.~~
- ~~No part of the building, except as listed below, can project into a 45-degree encroachment plane extending inward measured from the highest point of the second-story outer wall plane.~~

B. Encroachments

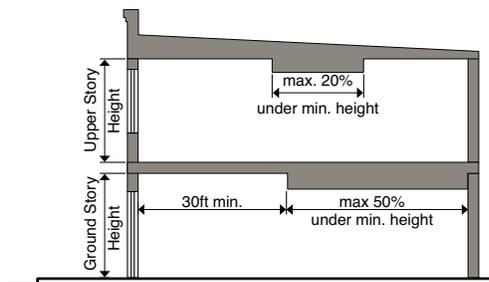
No part of a building may project into the stepback encroachment plane, except as listed below:



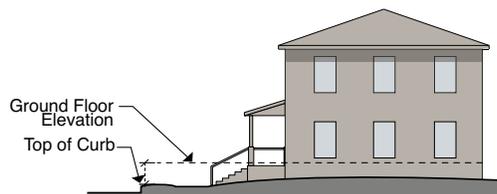
1. Balcony railings provided they are a maximum height of 4 feet and are at least 75% open.
2. Building eaves, roof overhangs, awnings, and light shelves provided they don't extend more than 3 feet into the stepback-encroachment plane.
3. Any part of the building not exceeding 12 feet in width for any one element up to a total maximum of 40% of the building facade width:

9.4.13 Story Height

- A. Story height is measured from the top of the finished floor to the ceiling above.
- B. The minimum ground story height applies to the first 30 feet of the building measured inward from a the street-facing facade. At least 50% of the ground story must meet the minimum height provisions.
- C. At least 80% of each upper story must meet the minimum upper story height provisions.



- D. Ground floor elevation is measured from top of the adjacent curb to the top of the finished ground floor.
- E. Minimum ground floor elevation applies to the first 30 feet of the lot measured from the back of the pedestrian frontage right-of-way line.

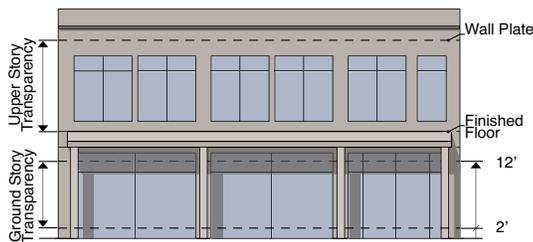


9.4.14 Transparency

Transparency is the percentage of a story's facade that is glass windows or doors. Glass is considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%.

A. Calculation

Transparency is calculated by dividing the total area of transparent glass windows and doors on the story by the total area of the story's facade. The story facade is the area between the top of the finished floor to the top of the finished floor above. When there is no floor above, it is measured to the top of the wall plate.



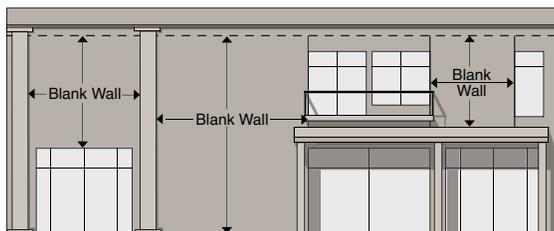
B. Shopfront Frontage

1. In the Shopfront Frontage, at least 70% of street-facing, ground story windows must allow views into the building for a depth of at least 8 feet. Windows cannot be made opaque by window treatments (except operable sunscreen devices).
2. In the Shopfront Frontage, ground story transparency is measured between 2 and 12 feet above the adjacent sidewalk.

C. ~~Transparency applies to primary and side street-facing facades only.~~

9.4.15 Blank Wall Area

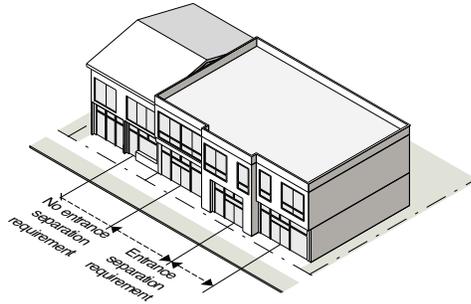
- A. Blank wall area is the portion of a facade that does not include: windows or doors; columns, pilasters or other articulation greater than 12 inches in depth; or a substantial material change (paint color is not considered a substantial change). The same material used in a different pattern does not constitute a substantial material change.



- B. A blank wall area is permitted unless it exceeds the maximum in ~~applies in~~ both a vertical and horizontal direction ~~and to ground and upper story primary and side street-facing facades.~~

9.4.16 Pedestrian Access

- A. An entrance providing both ingress and egress, operable to residents or customers at all times during operating hours, is required to meet the street-facing entrance requirements. Additional entrances off another street, pedestrian area or internal parking area are permitted.
- B. The entrance spacing requirements must be met for each building, but are not applicable to adjacent buildings.



- C. An angled entrance may be provided at either corner of a building along the street to meet the street-facing entrance requirements.

9.4.17 ~~Workforce Housing Incentives~~

A. ~~Cumulative Limit on Incentives~~

- ~~1. Utilization of the workforce housing incentives identified in this Section shall be monitored such that each time an incentive is approved, the total number of units approved is added to the cumulative total of units added through the incentives of this Section.~~
- ~~2. Use of an incentive in this Section is prohibited if the application would cause the sum of the cumulative total of the units approved through incentives plus the base zoning allowed in the community to increase the community's residential buildout.~~

B. ~~Exempt Floor Area for Workforce Housing~~

- ~~1. Intent. The purpose of the workforce housing floor area exemption is to encourage development of workforce housing to fill out the form in zones with greater bulk and scale allowances.~~
- ~~2. Applicability. This incentive shall apply in the following zones:~~
 - ~~a. DC: Downtown Core~~
 - ~~b. CR-1: Commercial Residential--1~~
 - ~~c. CR-2: Commercial Residential--2~~
 - ~~d. OR: Office Residential~~

- e. ~~RC: Residential Core~~
- 3. ~~Exemption.~~ Floor area meeting the standards of this section is exempt from the Floor Area Ratio (FAR) maximum of the zone as well as the thresholds for development permits. The exempt floor area is still subject to all other applicable standards of these LDRs.
- 4. ~~Allowed Use.~~ The exempt floor area may only be used for residential uses and shall have at least the following ratio of restricted to unrestricted floor area:
 - a. ~~TBD~~

Div. 9.5. Defined Terms

~~Building Face.~~ Building face means all window and wall area of a building in one plane, facade, or elevation.

~~Facade.~~ The exterior wall and related roof elements of a building. A facade is a building's elevation, as viewed in a single plane parallel to a referenced lot line.

~~Facade Width Building Frontage.~~ Facade width Building frontage is the linear width of the building elevation, measured in a single plane parallel to the referenced street lot line.

Frontage. Frontage means a lot line contiguous with a road right-of-way or roadway regardless of the designation of the lot line pursuant to Sec. 9.4.10.

~~Lot Frontage.~~ The length of the front lot line.

~~Lot Line, Rear.~~ Rear lot line means a lot line opposite a street or front lot line. A non-rectangular lot of record or lot of record with multiple street lot lines may not have a rear lot line or may have multiple rear lot lines. See also Sec. 9.4.10 regarding designation of street and rear lot lines.

~~Lot Line, Street.~~ Street lot line means a lot line contiguous with a road right-of-way or roadway. See Sec. 9.4.10. for rules for determining street lot line designation.

~~Protected Zone.~~ The following zones are protected zones: Neighborhood Conservation - Single-Town (NC-ToJ) and Auto-Urban Residential-Town (AR-ToJ).